

**Beachwood Planning and Zoning Commission Meeting Agenda**  
**Monday, April 27, 2020, 4:00 PM**

*\* Please note, this meeting will be held by video conference via Zoom and  
livestreamed on the City of Beachwood [website at www.beachwoodohio.com](http://www.beachwoodohio.com).*

*This Planning & Zoning Commission Meeting has been duly noticed and is being  
held in accordance with Ohio Revised Code Section 121.22 specific to recent Amendments  
made in light of the current COVID-19 declared emergency.*

Agenda Items

1. Roll Call
2. Approval of Minutes of the December 12, 2019 Planning and Zoning Commission Meeting
3. Council Report
4. Citizen's Remarks
5. Planning and Zoning Commission  
**2020-3** Penrose Wolf, Director of Construction, on behalf of The Cleveland Clinic Foundation, property owner, is requesting preliminary and final site plan approval for new playground equipment and storage shed to be located at 3275 Science Park Drive, Cleveland Clinic Beachwood Therapy Services Playground.
6. Planning and Zoning Commission  
**2019-27(B)** Kyle Hulewat, Richard L. Bowen & Associates Inc., on behalf of 3800 Park East My Place LLC, property owner, is requesting revised preliminary and final site plan approval for porte cochere addition located at 3800 Park East Drive, Park East Development.
7. Planning and Zoning Commission  
**2020-6** Donald Rerko, Makovich & Pusti Architects, Inc., on behalf of University Hospitals, is requesting preliminary and final site plan approval for Phase 2 enabling projects prior to a new addition for Ahuja Medical Center located at 3999 Richmond Road.
8. Planning and Zoning Commission  
**2020-5** Ordinance No. 2020-37, Amending BCO Chapter 1124, Section 1124.10, titled "Rezoning" of the City of Beachwood, Ohio Planning and Zoning Code (referred from Council on March 2, 2020).



25325 FAIRMOUNT BLVD • BEACHWOOD, OHIO 44122  
PHONE (216) 292-1914 • FAX (216) 292-1917

## PLANNING & ZONING APPLICATION

**Form must be completed or will not be processed**

APPLICATION DATE: 1/3/2020

OWNER OF BUILDING: The Cleveland Clinic Foundation PHONE: 216-444-2460

STREET ADDRESS: 9500 Euclid Ave

CITY/STATE/ZIP: Cleveland, OH 44195

APPLICANT: Pen Wolf (Director of Construction) PHONE: 216-444-2460

COMPANY OR FIRM: The Cleveland Clinic Foundation

EMAIL: wolfp2@ccf.org

STREET ADDRESS: 9500 Euclid Ave

CITY/STATE/ZIP: Cleveland, OH 44195

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Andrew Payerl; payerla@ccf.org / Gianinne Loerch; loerchg3@ccf.org

Chris Meyer; mdesignplay@sbcglobal.net

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 3275 Science Park Drive SUITE # Bldg 5

TENANT NAME: Cleveland Clinic

PERMANENT PARCEL # 742 - 19 - 017 PRESENT USE: Playground PROPOSED USE: Playground

PURPOSE OF APPLICATION: New playground equipment and associated storage shed.

**NATURE OF THE REQUEST** (check as many as apply):

☒ Preliminary site plan approval

☒ Final site plan approval

☐ Lot split

☐ Lot consolidation

☐ Conditional use permit

☐ Rezoning

☐ Zoning text amendment

☐ Other \_\_\_\_\_

☐ Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.  
Please explain reason for variance (**must indicate a hardship**):

N/A

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. N/A

\*\*\*\*\* (OVER) CONTINUED ON BACK \*\*\*\*\*

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission.

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u><b>Zoning District</b></u>	<u><b>Fee</b></u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	<b>\$300.00</b>
(2)	All other Zoning Districts for site development plan review (new building/addition)	<b>\$5,000.00</b>
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	<b>\$1,500.00</b>
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	<b>\$750.00</b>
(5)	Map Amendment	<b>\$2,500.00</b>

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

  
SIGNATURE

Penrose Wolf  
PRINTED NAME

1/3/2020  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

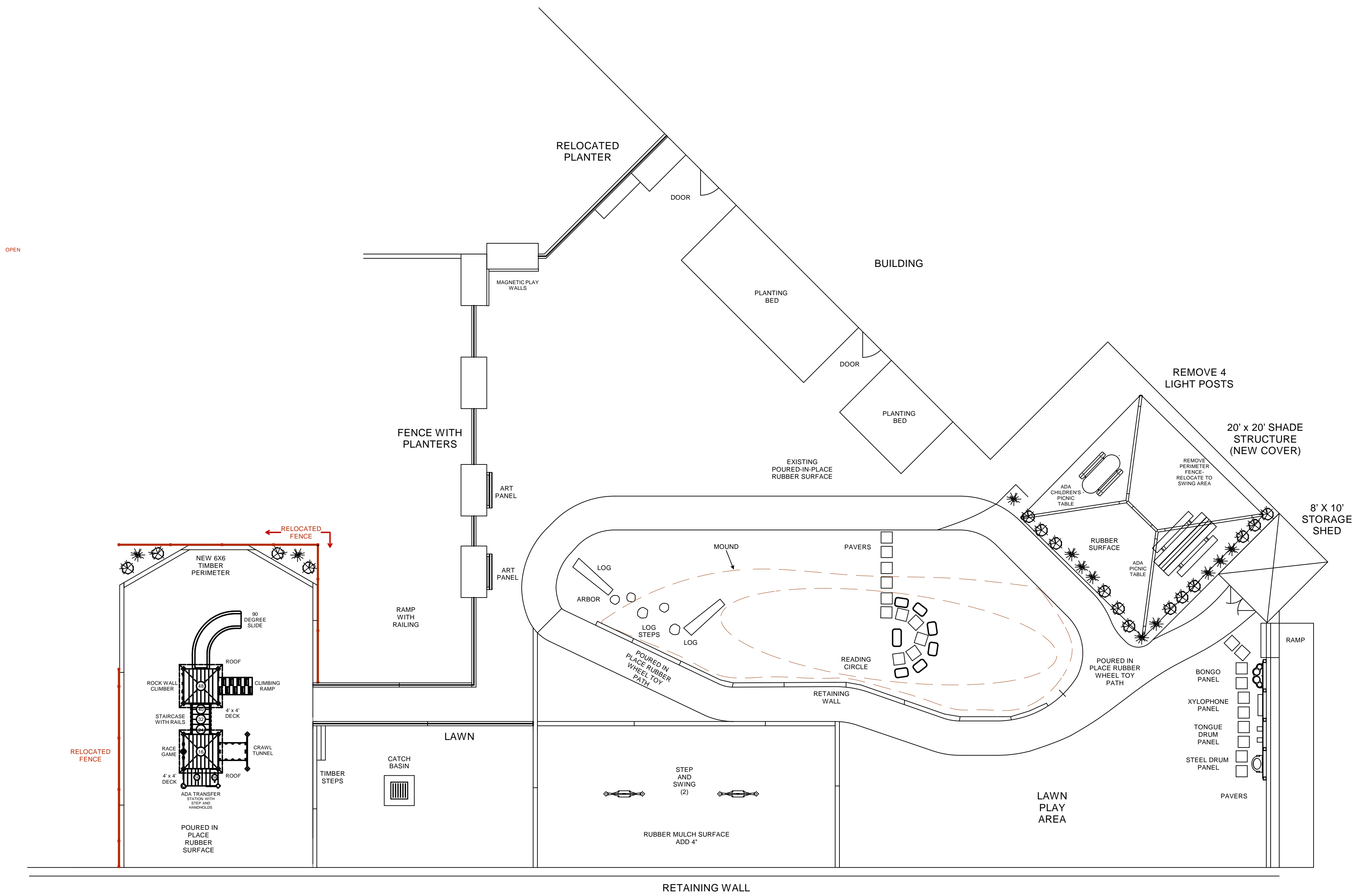
DEPOSIT: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council: ☐ YES ☐ NO Meeting Date: \_\_\_\_\_

**BUILDING DEPARTMENT**  
**WILLIAM GRISWOLD, BUILDING COMMISSIONER**  
PHONE (216) 292-1914 • FAX (216) 292-1917



PLAN VIEW

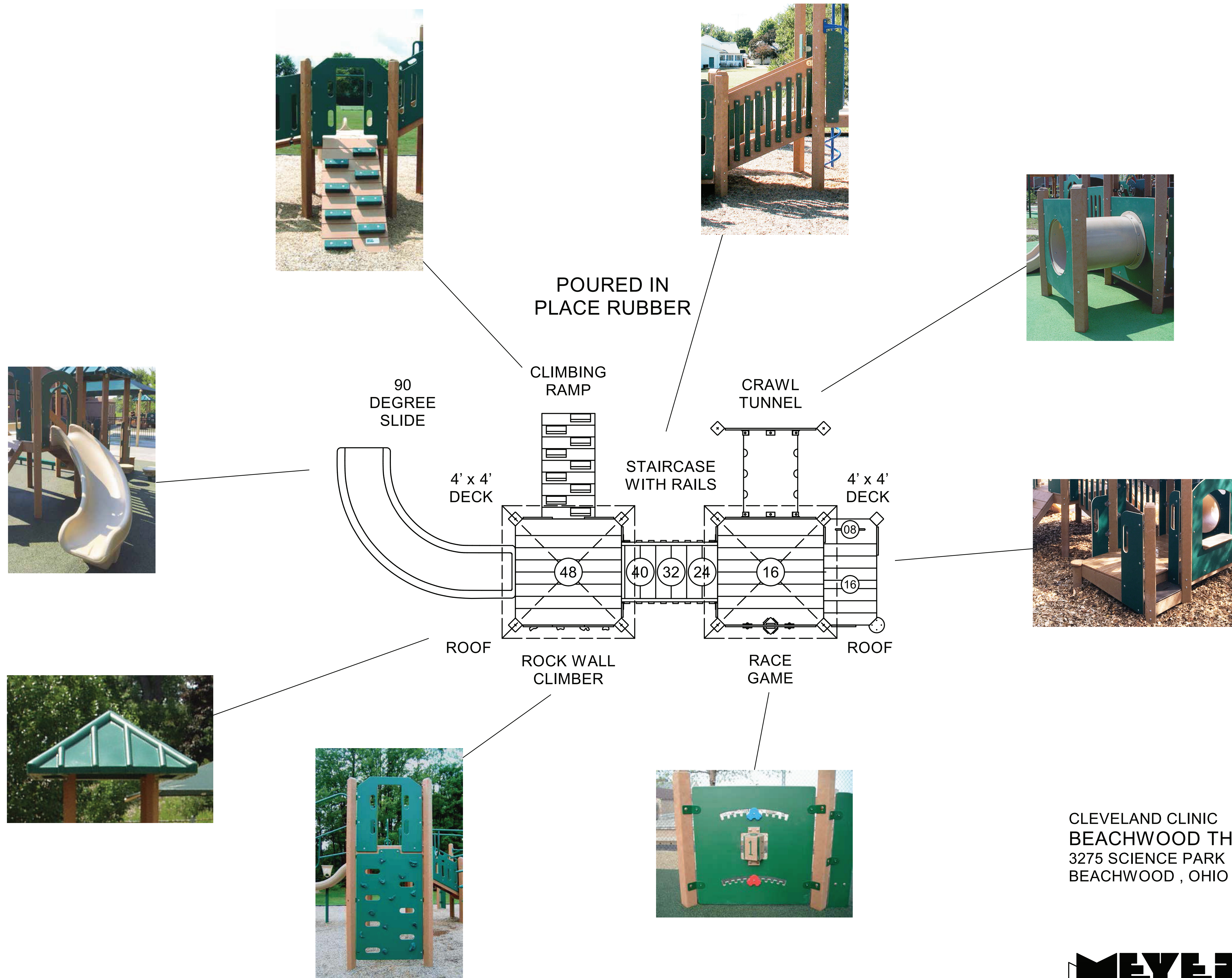
PROPOSED AREA

CLEVELAND CLINIC  
BEACHWOOD THERAPY SERVICES PLAYGROUND  
3275 SCIENCE PARK, BUILDING 5  
BEACHWOOD , OHIO 44122

**MEYER  
DESIGN** INC.

Playground Equipment & Design

100 N. High St. Akron, Ohio 44308  
330-434-9176 SCALE: 1/4"= 1'- 0"  
1-800-543-9176 DATE: 2019-11-15



CLEVELAND CLINIC  
 BEACHWOOD THERAPY SERVICES PLAYGROUND  
 3275 SCIENCE PARK  
 BEACHWOOD , OHIO 44122

**MEYER  
 DESIGN** INC.

Playground Equipment & Design

100 N. High St. Akron, Ohio 44308

330-434-9176 SCALE: 1/4" = 1'- 0"

1-800-543-9176 DATE: 2019 - 09 - 29

EQUIPMENT PLAN  
 \*USE SITE PLAN AS LOCATION REFERENCE.



## Shed Specifications for Cleveland Clinic – Beachwood Therapy Services Playground

Supplier: Lakeside Cabins

### Specifications:

Floor: 4" x 4" pressure treated runners

2" x 4" joist @ 16" on center

3/4" Louisiana Pacific (LP) Smart flooring

Walls: 2" x 4" framing 16" on center

LP Smart Siding

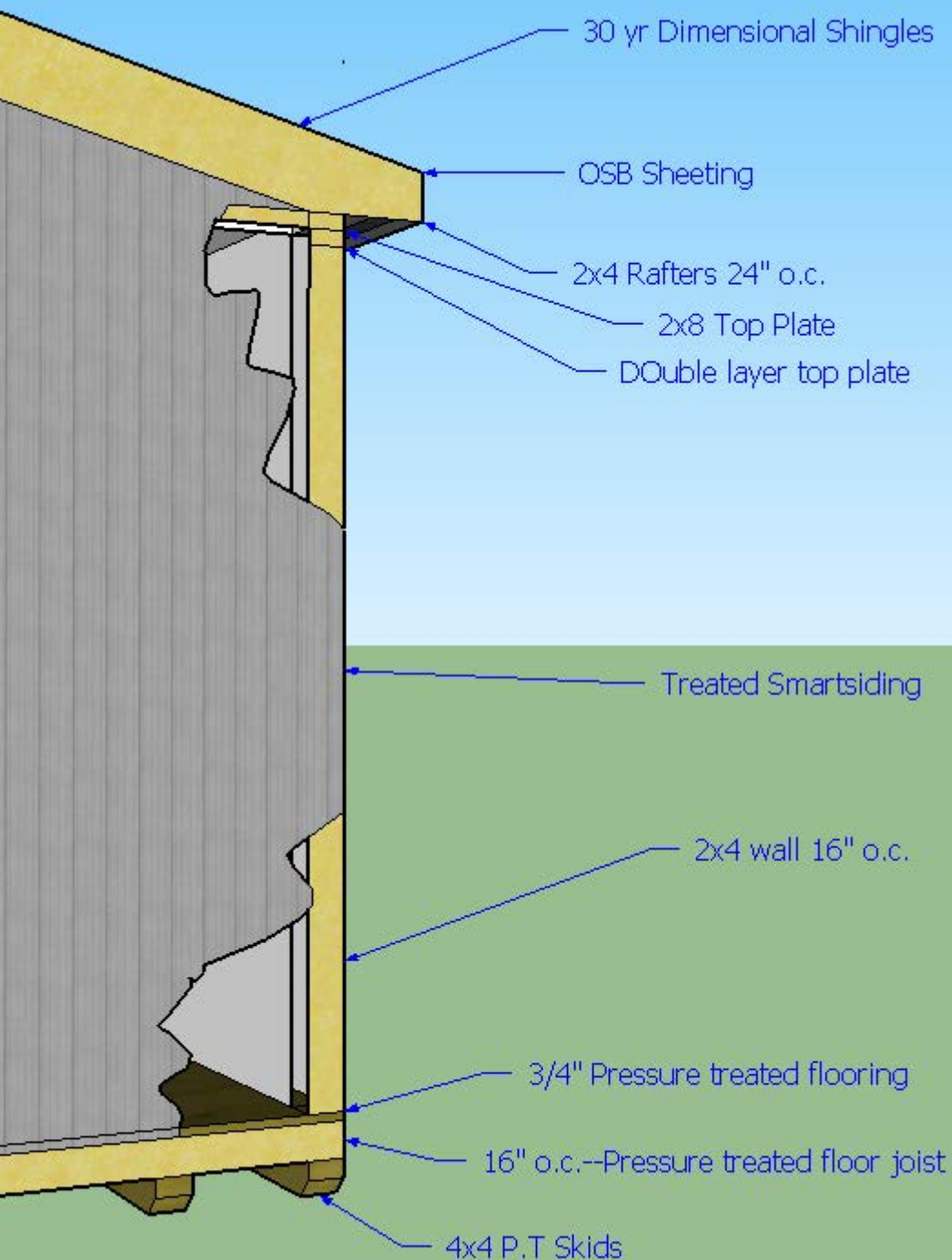
Roof: 2" x 4" framing

1/2" OSB sheathing

30 year shingle – 3 tab

Colors: Buckskin/Beige

Size: Nominal 8' x 10' Actual with overhang 8'-8" x 10'-8"



## Tactical Planning, LLC

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: January 12, 2020



RE: **P&Z 2020-03** **Cleveland Clinic Foundation**  
**3275 Science Park Drive**

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This request is for both preliminary and final site plan approval for the installation of new playground equipment and a storage shed for the applicant's Beachwood Therapy Services facility. The playground equipment would have a poured in place rubber surface and would be located behind the building near the existing retaining wall. The storage shed is 8 feet X 10 feet and would also be located behind the building.

There are no setback issues associated with either the playground equipment or the storage shed. It is recommended that the Planning and Zoning Commission grant both preliminary and final site plan approval.



**GPD GROUP®**  
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

**Cleveland Office**

5595 Transportation Blvd  
Suite 100  
Cleveland, OH 44125

tel 216.518.5544

fax 216.518.5545

[www.gpdgroup.com](http://www.gpdgroup.com)

**MEMORANDUM**

**CITY OF BEACHWOOD  
PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: January 30, 2020**

**Report Date: January 8, 2020**

2020120.01

To: Mr. William B. Griswold  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
Consulting City Engineer

**AGENDA ITEM NO. 7**

**P & Z 2020-03**

**Penrose Wolf, Director of Construction, on behalf of The Cleveland Clinic, property owner, is requesting preliminary and final site plan approval for new playground equipment and storage shed to be located at 3275 Science Park Drive, Building 5, Cleveland Clinic Beachwood Therapy Services Playground**

We hereby recommend approval of this application.

## Fire Prevention Bureau

### P&Z Report

**To:** Planning and Zoning Commission  
**From:** Shaun Lutz, Assistant Chief  
**Date:** 4/15/2020  
**Re:** P&Z # 20-03– 3275 Science – Playground equipment and Shed

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Shaun Lutz*

Shaun Lutz  
Assistant Fire Chief



25325 FAIRMOUNT BLVD • BEACHWOOD, OHIO 44122  
PHONE (216) 292-1914 • FAX (216) 292-1917

## PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: \_\_\_\_\_

OWNER OF BUILDING: 3800 Park East My Place LLC PHONE: 216-525-1473

STREET ADDRESS: 3 Summit Park Drive Suite 200

CITY/STATE/ZIP: Cleveland, OH 44131

APPLICANT: Chad Kertesz PHONE: 216-525-1473

COMPANY OR FIRM: 3800 Park East My Place LLC

EMAIL: chad.myplacercleveland.com

STREET ADDRESS: 3 Summit Park Drive Suite 200

CITY/STATE/ZIP: Cleveland, OH 44131

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Kyle Hulewat, Chad Kertesz, Rico Pisto, Allen Renzi

DESCRIPTION OF THE PROPERTY:

ADDRESS: 3800 Park East SUITE # \_\_\_\_\_

TENANT NAME: \_\_\_\_\_

PERMANENT PARCEL # 742 - 26 - 011 PRESENT USE: Vacant PROPOSED USE: Residential

PURPOSE OF APPLICATION: Porte Cochere Addition

Carports / Pool to be submitted at later date

NATURE OF THE REQUEST (check as many as apply):

☐ Preliminary site plan approval

☒ Final site plan approval

☐ Lot split

☐ Lot consolidation

☐ Conditional use permit

☐ Rezoning

☐ Zoning text amendment

☐ Other \_\_\_\_\_

☐ Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

\*\*\*\*\* (OVER) CONTINUED ON BACK \*\*\*\*\*

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

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	<b><u>Zoning District</u></b>	<b><u>Fee</u></b>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	<b>\$300.00</b>
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(5)	Map Amendment	<b>\$2,500.00</b>

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.





SIGNATURE PRINTED NAME DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_ Date \_\_\_\_\_ Final Approval: \_\_\_\_\_ Date \_\_\_\_\_

Recommendation to Council: ☐ YES ☐ NO Meeting Date: \_\_\_\_\_

**BUILDING DEPARTMENT**  
**WILLIAM GRISWOLD, BUILDING COMMISSIONER**  
 PHONE (216) 292-1914 • FAX (216) 292-1917



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2



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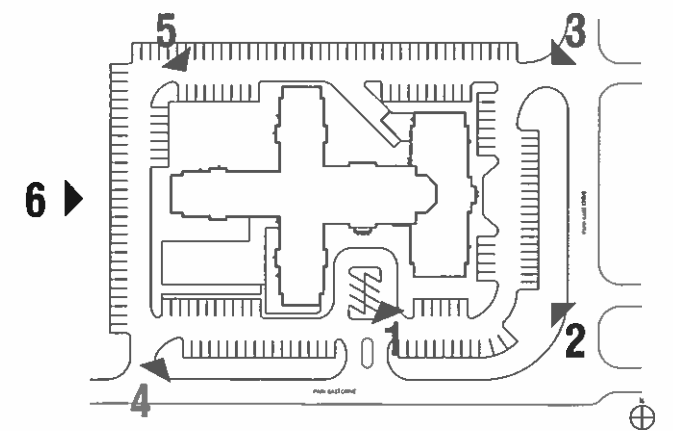
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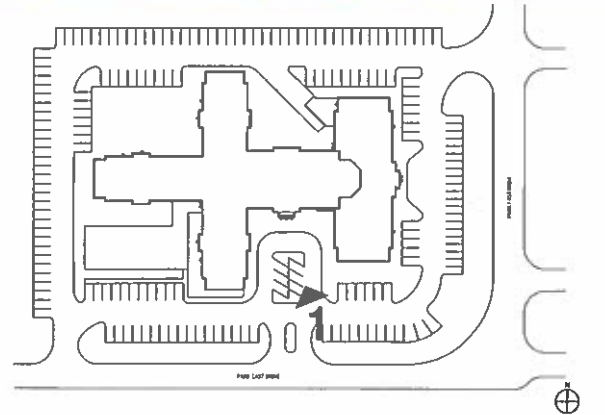


## 3800 PARK EAST

EXISTING CONDITIONS

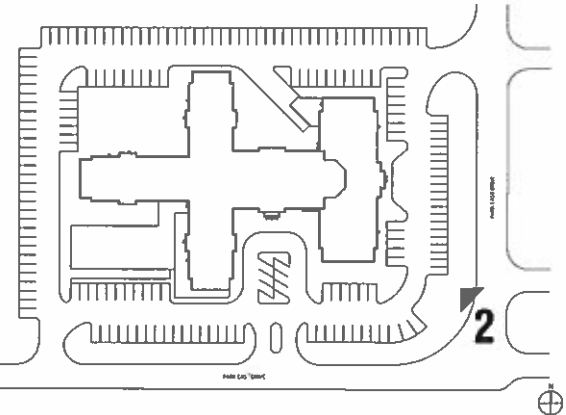


EXISTING SIGN TO BE REFURBISHED



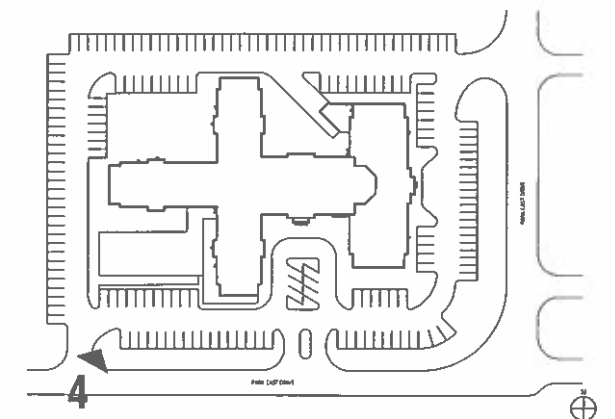
3800 PARK EAST

CONCEPT RENDERING



3800 PARK EAST

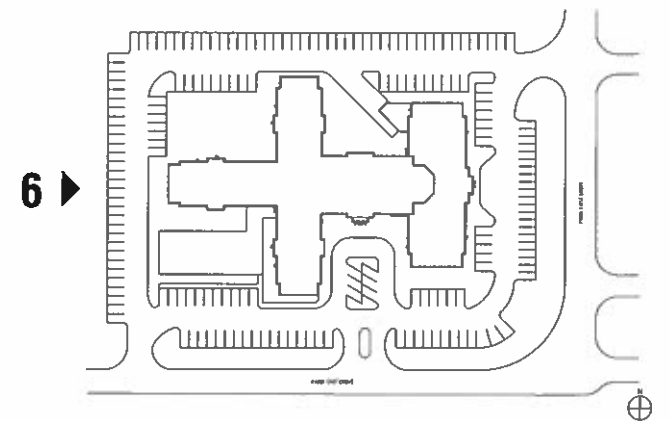
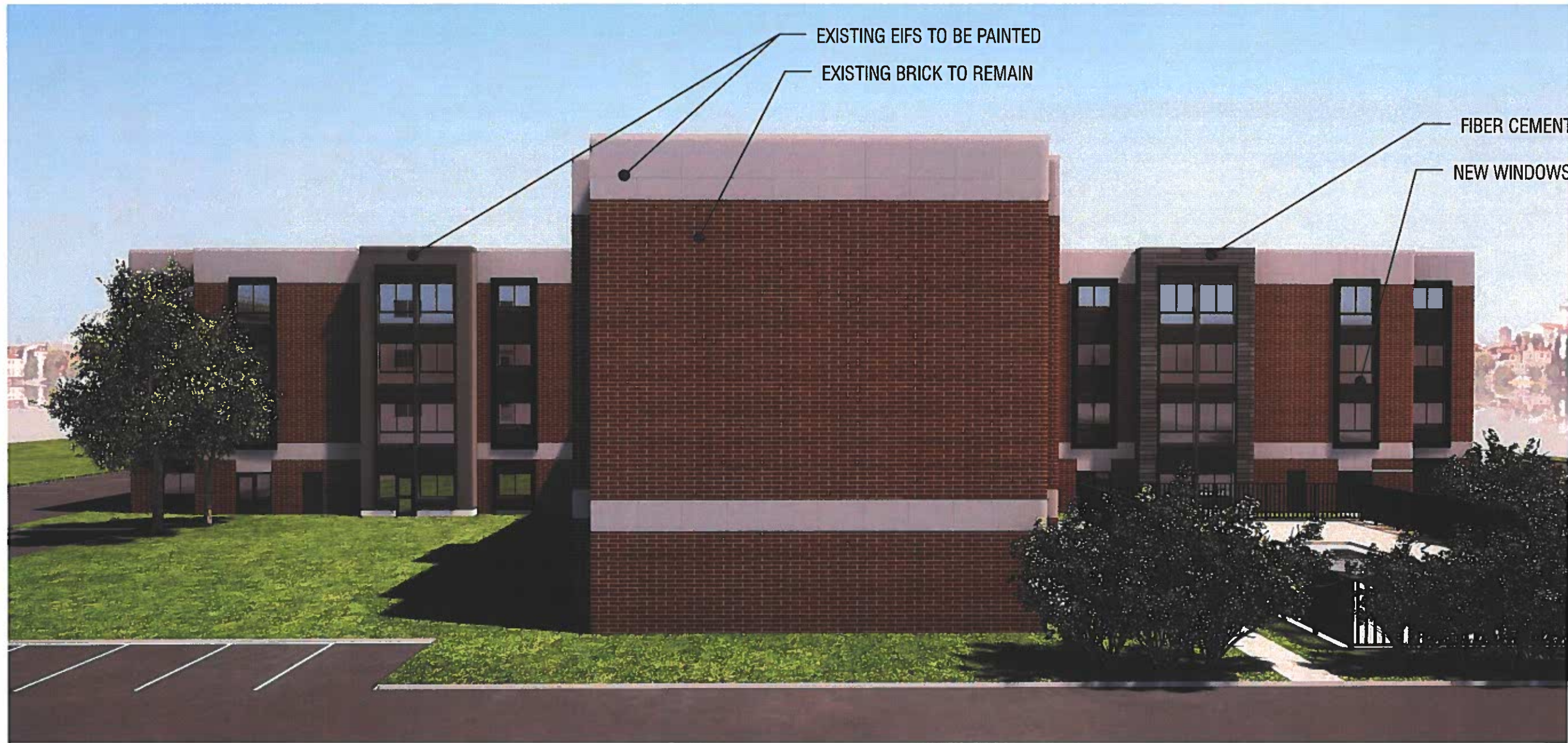
CONCEPT RENDERING



3800 PARK EAST

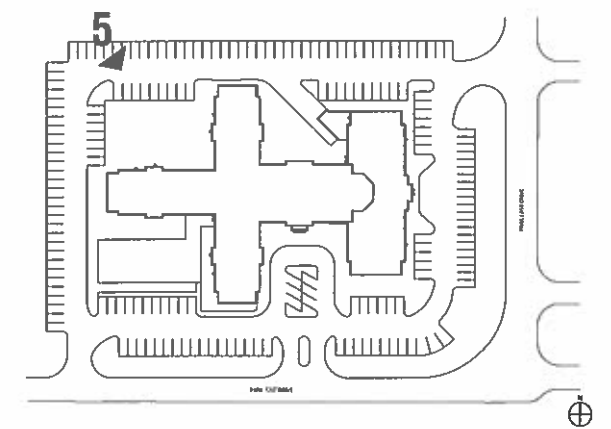
CONCEPT RENDERING

03.12.2020



## 3800 PARK EAST

CONCEPT RENDERING



3800 PARK EAST

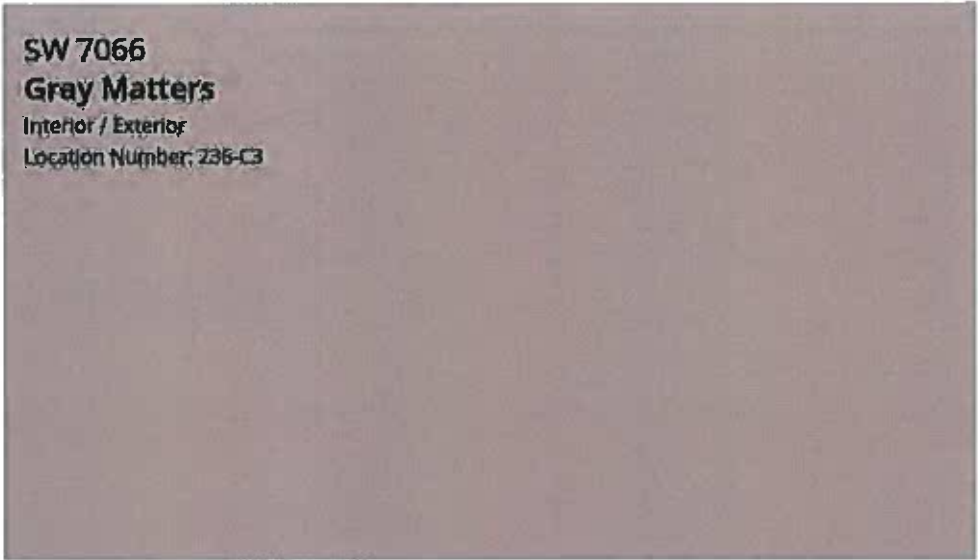
CONCEPT RENDERING



3800 PARK EAST

CONCEPT RENDERING

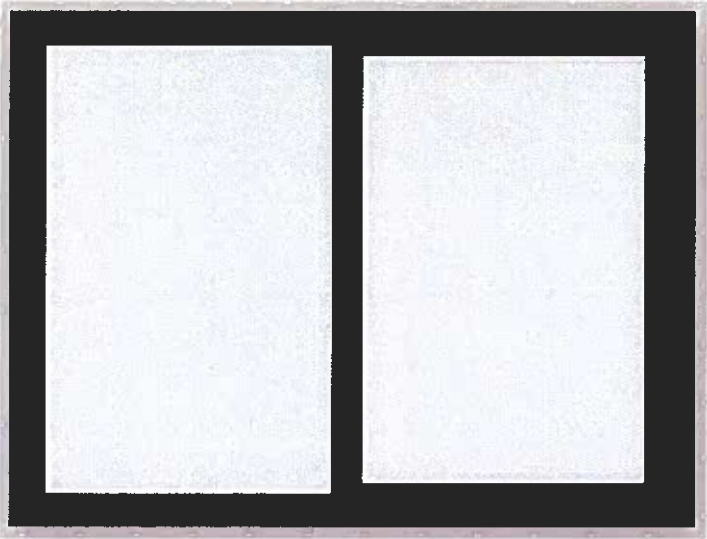
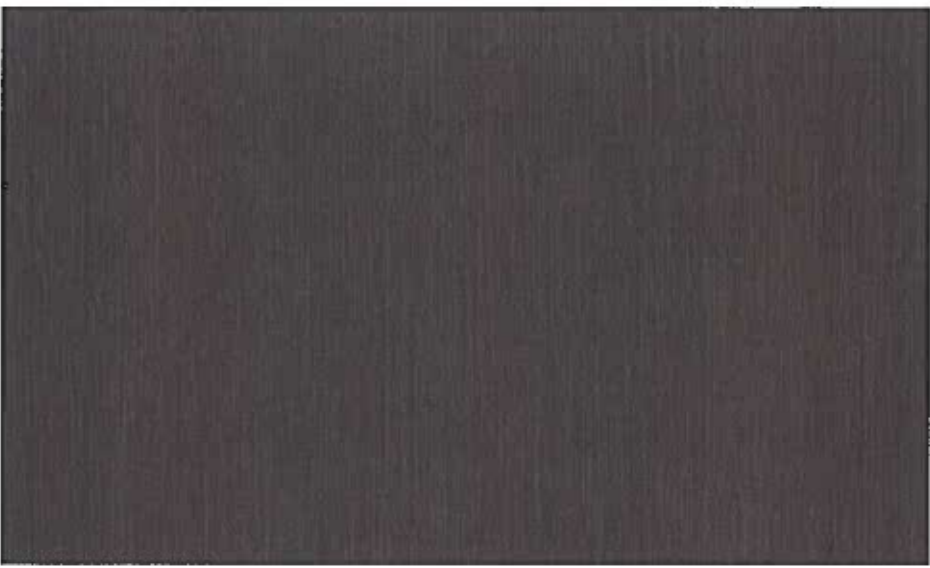
PAINT COLOR



FIBER CEMENT BOARD



METAL PANEL/BREAK METAL



PAINT COLOR

WOOD LOOK METAL PANEL

FIBERGLASS WINDOW

3800 PARK EAST

MATERIALS



*PARK EAST*

01.15.2019

## Tactical Planning, LLC

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: March 13, 2020

RE: **P&Z 2019-27(B) Richard L. Bowen & Associates, Inc.  
3800 Park East My Place, LLC  
3800 Park East Drive**



This request is for final site plan approval for the front porte cochere addition and related exterior renovations as part of the conversion of the former nursing home to a mixed-use development with apartments and a restaurant. The subject site is zoned U-7A General Office Building District. The building façade modifications will be reviewed by the Architectural Review Board; however, the porte cochere addition alters the building footprint and therefore constitutes a site plan modification that requires approval by the Planning and Zoning Commission. The proposed porte cochere has sufficient clearance to accommodate emergency vehicles.

The applicant has provided drawings indicating the changes to each elevation of the building. The final site plan conforms to the previously approved preliminary plan.

Approval of the final site development plan is recommended subject to the comments of the City Engineer.



**GPD GROUP.**  
Glaus, Pyle, Schomer, Burns & Dotteven, Inc.

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fax 216.518.5545  
[www.gpdgroup.com](http://www.gpdgroup.com)

## **MEMORANDUM**

### **CITY OF BEACHWOOD PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: March 26, 2020**

**Report Date: March 12, 2020**

2020120.01

To: Mr. William B. Griswold  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
Consulting City Engineer

#### **AGENDA ITEM NO. 6**

**P & Z 2019-27 (B) Kyle Hulewat, Richard L. Bowen & Associates Inc., on behalf of 3800 Park East My Place LLC, property owner, is requesting revised preliminary and final site plan approval for porte cochere addition located at 3800 Park East Drive, Park East Development.**

There are no Engineering comments on this item.

## Fire Prevention Bureau

### P&Z Report

**To:** Planning and Zoning Commission  
**From:** Shaun Lutz, Assistant Chief  
**Date:** 04/15/2020  
**Re:** P&Z # 19- 27b– 3800 Park East - Porte cochere

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Shaun Lutz*

Shaun Lutz  
Assistant Fire Chief

# CITY OF BEACHWOOD

## INTER-OFFICE MEMORANDUM

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### Police Department

#### Planning & Zoning Report

TO: Planning and Zoning Commission  
FROM: Gary Haba, Police Chief   
DATE: 13 March 2020  
RE: **P&Z 2020-3-5 2010-27(B)**

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The Police Department reviewed the documents and drawings proposed for the following items submitted and have no questions or comments at this time.

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: \_\_\_\_\_

OWNER OF BUILDING: \_\_\_\_\_ PHONE: \_\_\_\_\_

STREET ADDRESS: \_\_\_\_\_

CITY/STATE/ZIP: \_\_\_\_\_

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY OR FIRM: \_\_\_\_\_

EMAIL: \_\_\_\_\_

STREET ADDRESS: \_\_\_\_\_

CITY/STATE/ZIP: \_\_\_\_\_

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: \_\_\_\_\_ SUITE # \_\_\_\_\_

TENANT NAME: \_\_\_\_\_

PERMANENT PARCEL # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ PRESENT USE: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_

**PURPOSE OF APPLICATION:** \_\_\_\_\_

**NATURE OF THE REQUEST** (check as many as apply):

- ☐ Preliminary site plan approval
- ☐ Final site plan approval
- ☐ Lot split
- ☐ Lot consolidation
- ☐ Conditional use permit
- ☐ Rezoning
- ☐ Zoning text amendment
- ☐ Other \_\_\_\_\_
- ☐ Request for a variance.

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Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

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(5)	Map Amendment	<b>\$2,500.00</b>

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\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
PRINTED NAME

\_\_\_\_\_  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

\_\_\_\_\_  
Preliminary Approval: \_\_\_\_\_  
Date

\_\_\_\_\_  
Final Approval: \_\_\_\_\_  
Date

\_\_\_\_\_  
Recommendation to Council: ☐ YES ☐ NO Meeting Date: \_\_\_\_\_

**BUILDING DEPARTMENT**  
WILLIAM GRISWOLD, BUILDING COMMISSIONER  
PHONE (216) 292-1914 • FAX (216) 292-1917

**APPLICANT:** \_\_\_\_\_

<b>P&amp;Z:</b>	<b>ZONING DATA</b>		<b>DATE:</b>
<b>ZONING STANDARDS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
ZONING DISTRICT			
MINIMUM LOT AREA			
MINIMUM LOT FRONTAGE			
MINIMUM FRONT YARD BUILDING SETBACK			
MINIMUM SIDE YARD BUILDING SETBACK			
MINIMUM REAR YARD BUILDING SETBACK			
MAXIMUM BUILDING HEIGHT			
MINIMUM LANDSCAPED AREA			
MINIMUM PARKING SETBACKS	Front = Side = Rear =	Front = Side = Rear =	
MINIMUM DRIVE AISLE			
MINIMUM PARKING STALL			
MINIMUM OFF-STREET PARKING			
SITE DEVELOPMENT PLANS			



Planning & Zoning Committee  
Submission  
for  
University Hospitals  
Ahuja Phase II  
Enabling Projects  
Parcel No. 742-33-007

Presented by:  
**Makovich & Pusti Architects, Inc.**

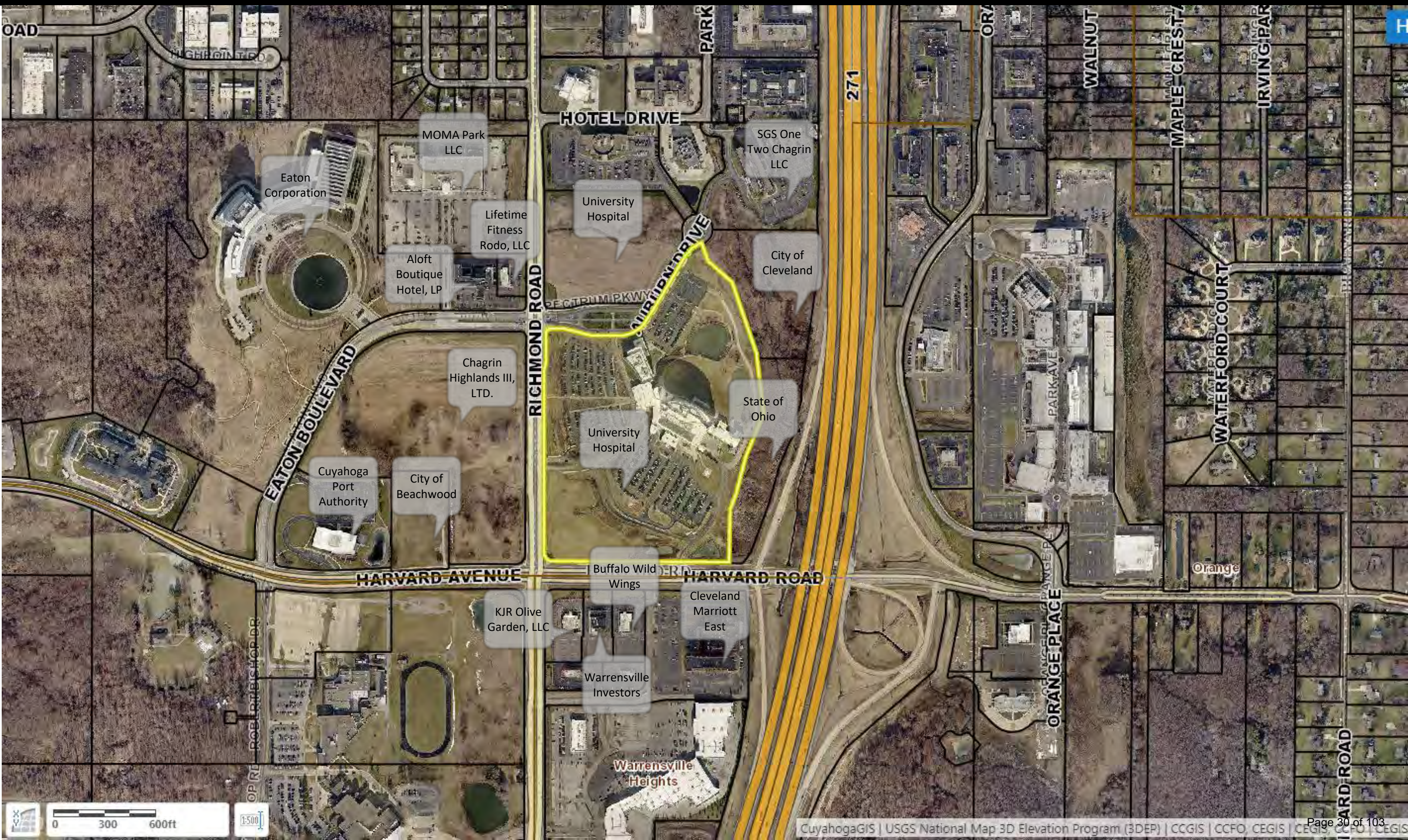
March 31, 2020

**HKS**

**MAKOVICH & PUSTI  
ARCHITECTS, INC.**

111 Front Street, Berea, Ohio 44017  
(440) 891-8910 [www.mparc.com](http://www.mparc.com)

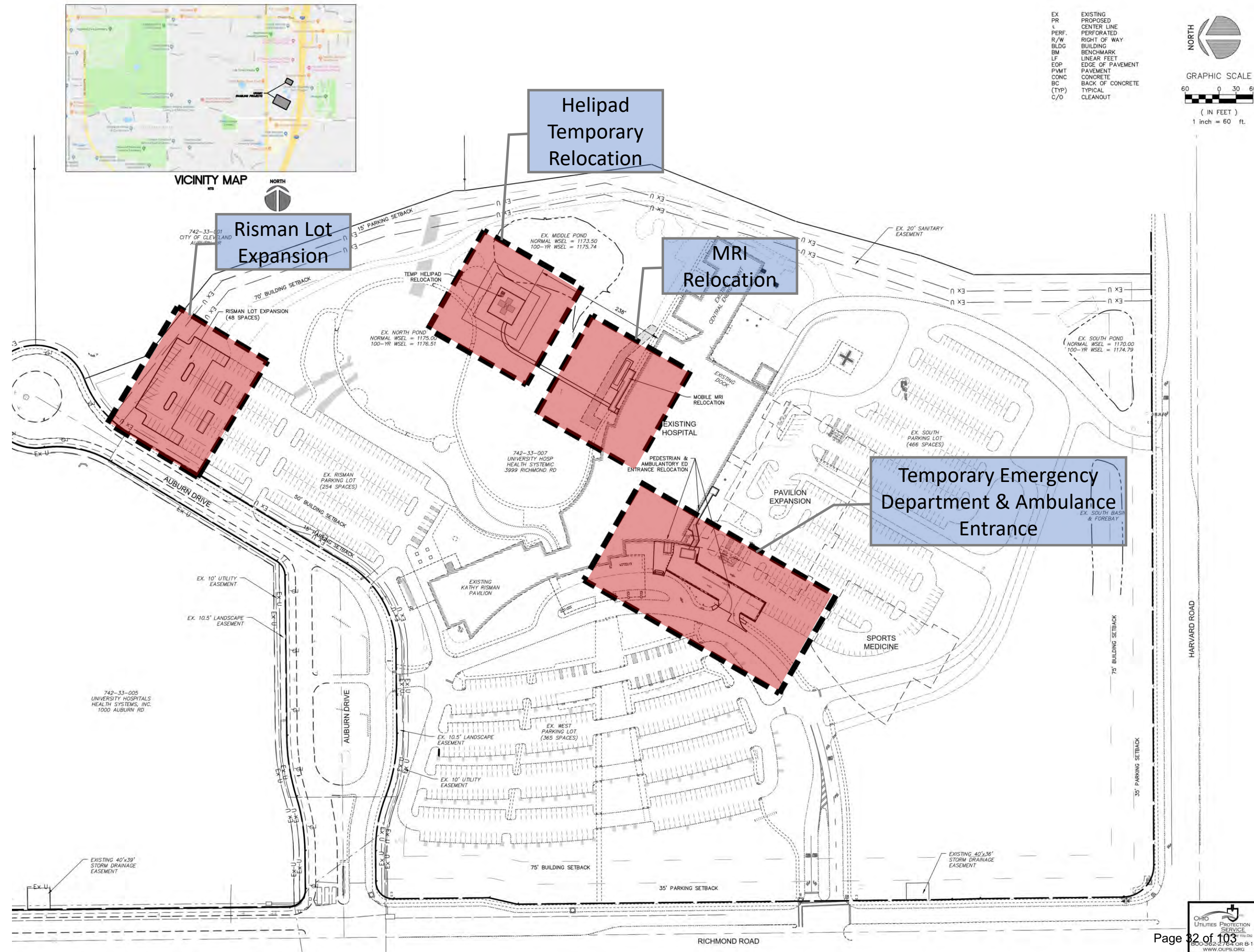
# Cuyahoga County GIS Aerial



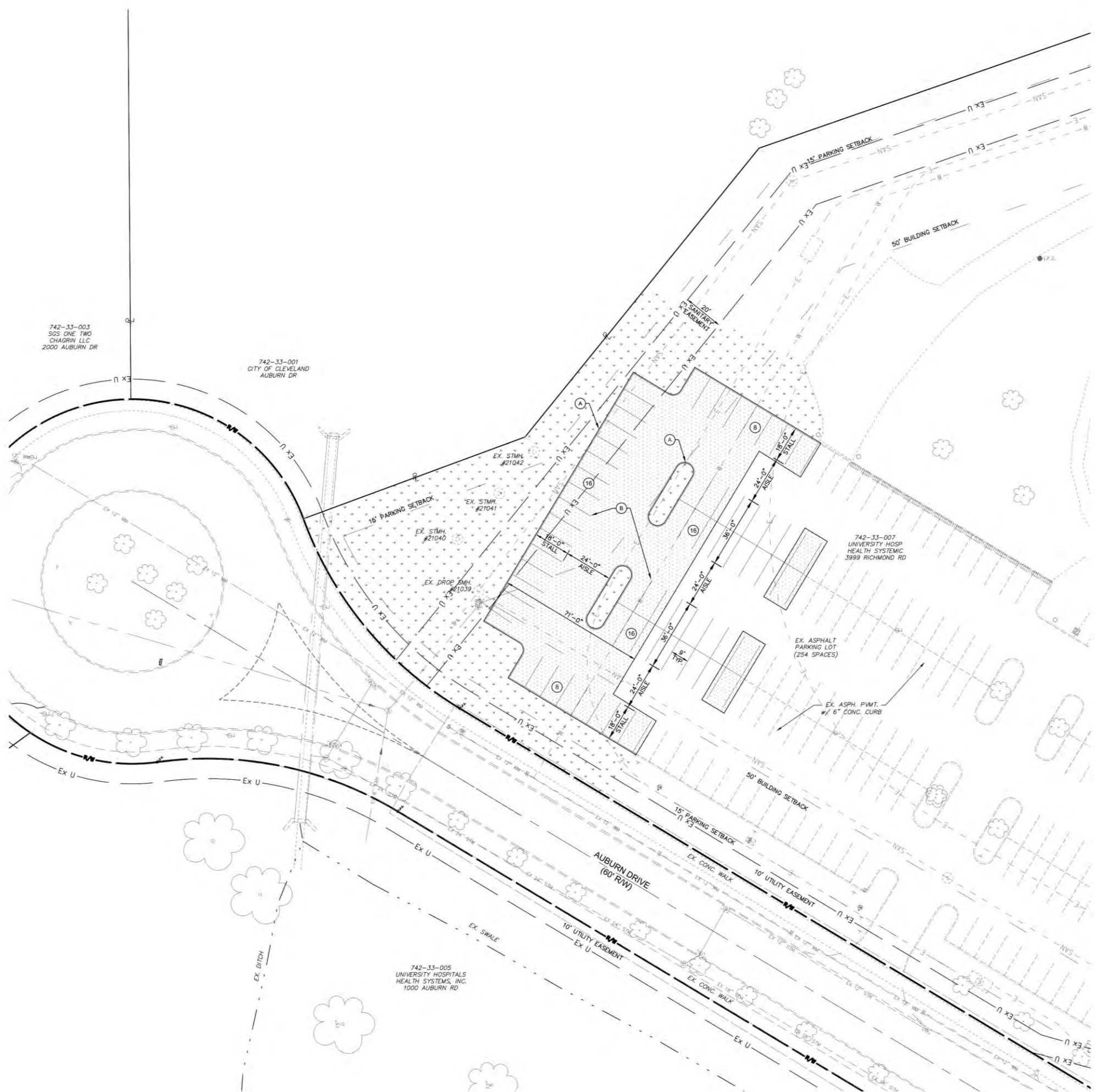
# Aerial Site Photo



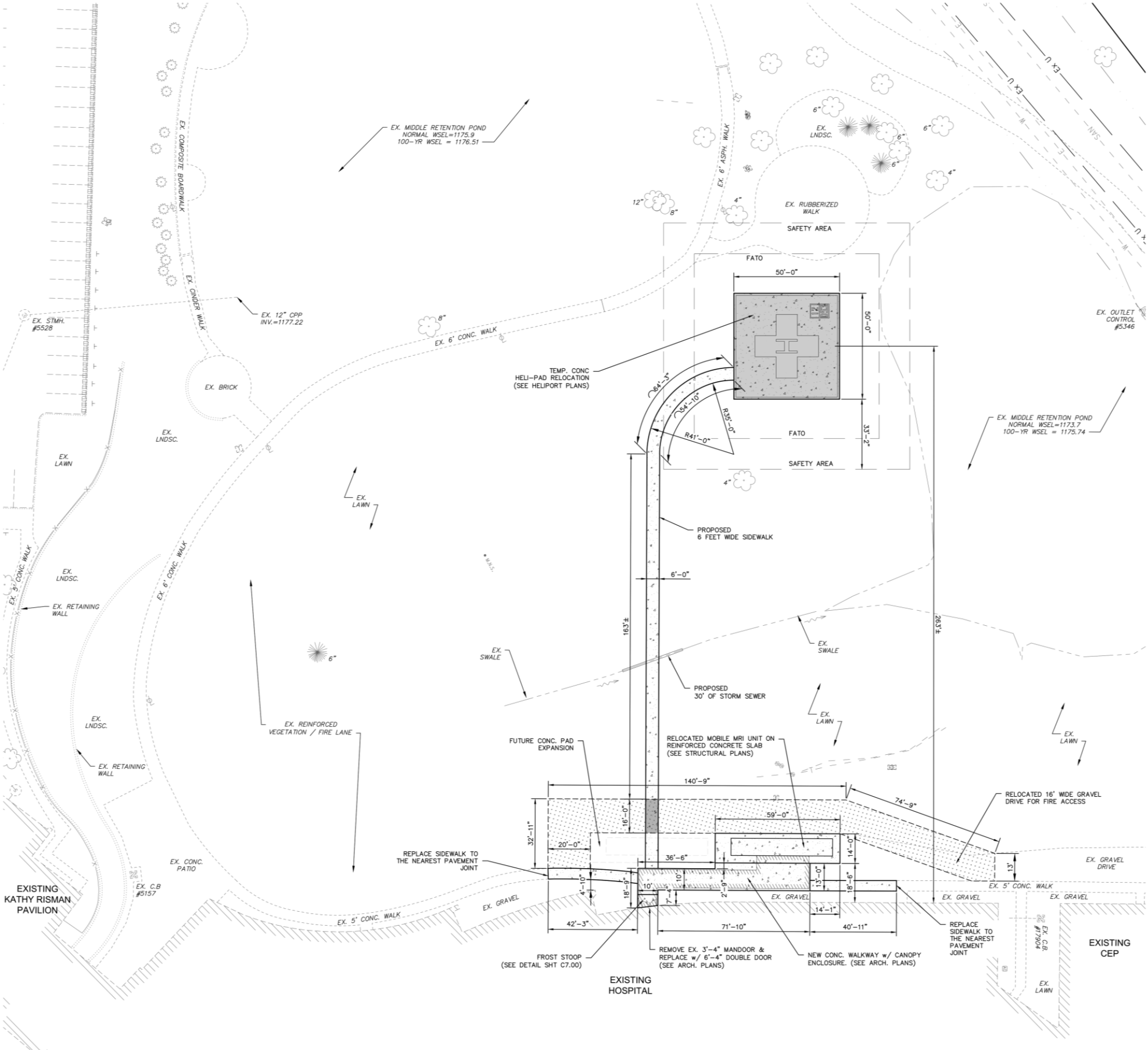
Site Plan



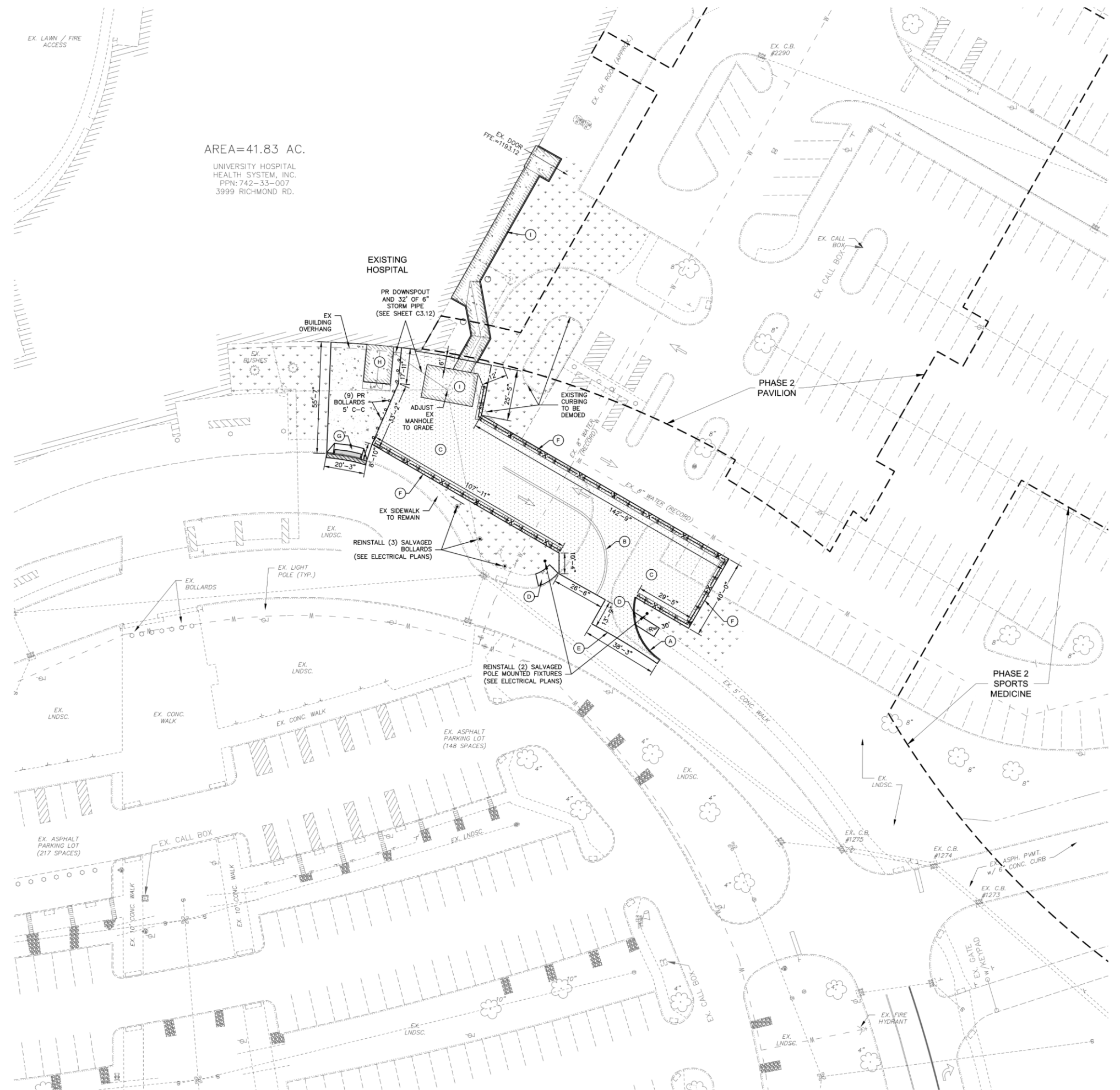
Enlarged Plan –  
Risman Lot Expansion



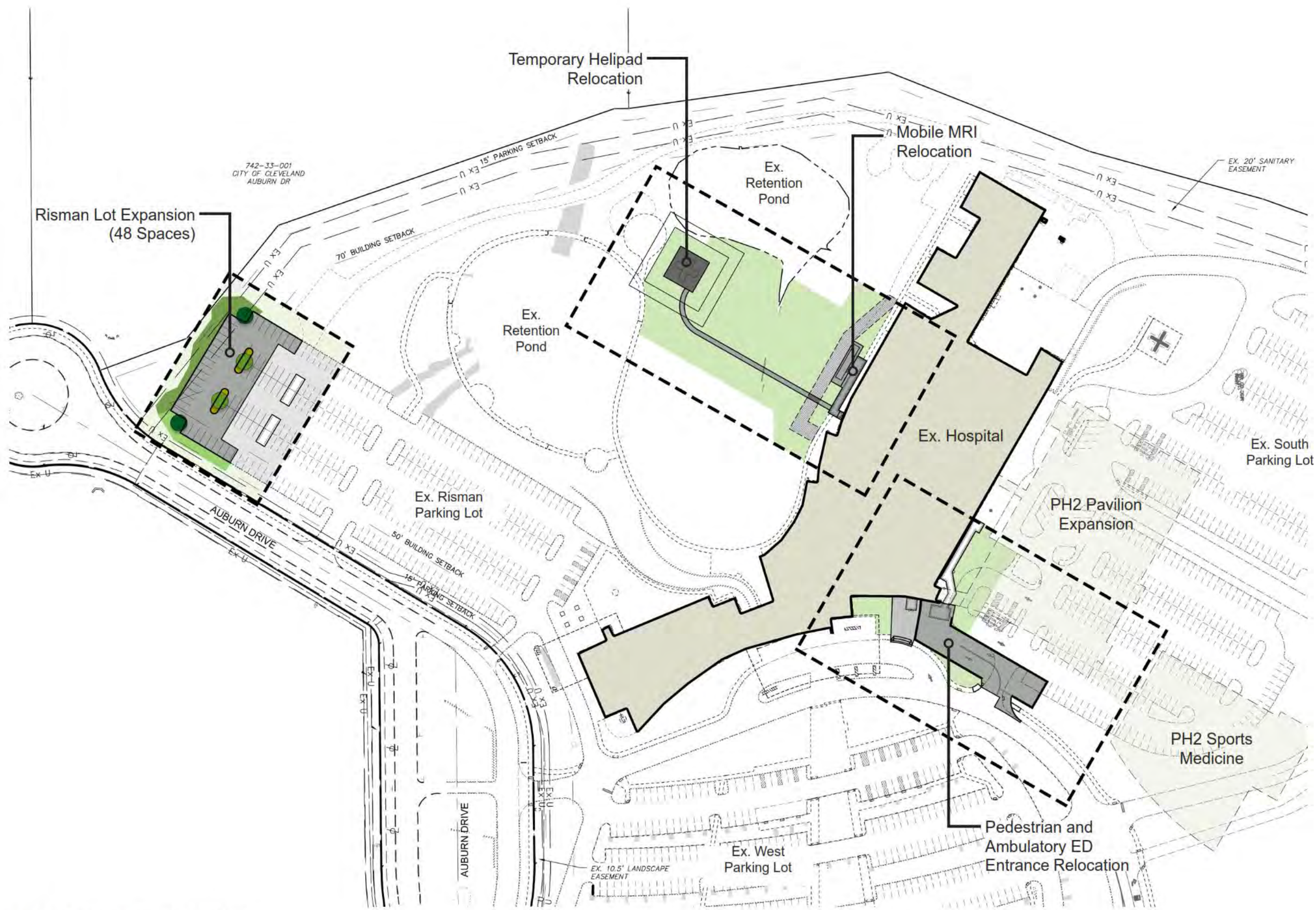
# Enlarged Plan – Helipad & MRI Relocation



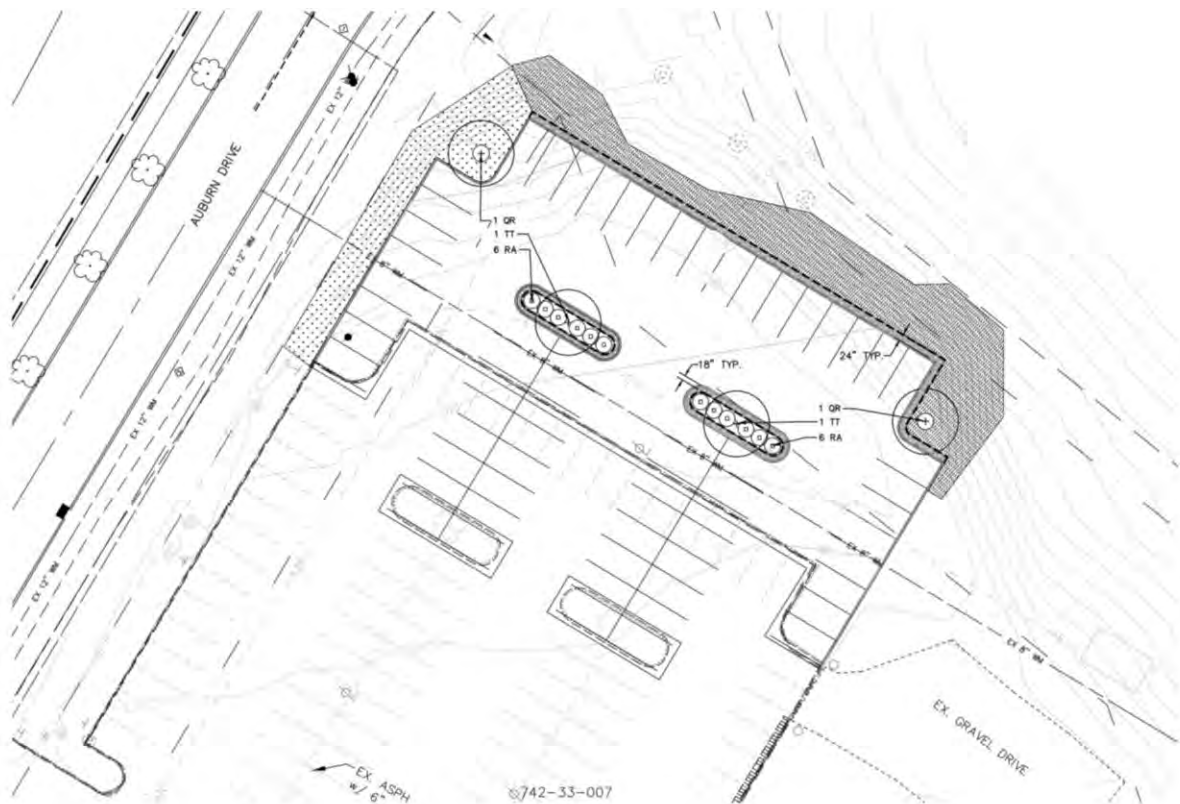
## Enlarged Plan – ED Entry & Ambulance Entrance



# Rendered Landscape Plan



# Landscape Plan & Details – Risman Parking Lot



1 RISEMAN PARKING LOT LANDSCAPE PLAN  
SCALE: 1"=20'

LEGEND

- LAWN
- MEADOW SEED MIX
- GRAVEL EDGING
- PLASTIC EDGING

LANDSCAPE NOTES

- FOR LAWN SEEDING REFER TO ODOT ITEM 659 SEEDING AND MULCHING SPECIFICATIONS. LAWN SEED TO BE ODOT SEEDING CLASS 1 LAWN MIXTURE OF KENTUCKY BLUEGRASS, CREEPING RED FESCUE, ANNUAL RYEGRASS, AND PERENNIAL RYEGRASS, TURF TYPE. SEED PERCENTAGES AND SEEDING RATES PER ODOT ITEM 659 SEEDING AND MULCHING.
- MEADOW SEED MIX TO BE SLOPE STABILIZATION MIX FROM CARDNO NATIVE PLANT NURSERY. APPLY AT 59.5 PLS POUNDS PER ACRE. SUPPLEMENT SLOPE STABILIZATION MIX WITH NATIVE WILDFLOWER SEED MIX FROM CARDNO NATIVE PLANT NURSERY. SEED NATIVE WILDFLOWER MIX AT A RATE OF 1/4 ACRE TO 1 ACRE OF SLOPE STABILIZATION MIX.
- FOR LANDSCAPE PLANTING REFER TO ODOT 661 PLANTING TREES, SHRUBS, PERENNIALS, AND VINES SPECIFICATIONS.
- PROVIDE 5 FT. DIA. MULCH RING AROUND ALL TREES LOCATED IN LAWN AREAS.
- GRAVEL EDGING STONE TO MATCH EXISTING GRAVEL IN PARKING LOT TREE ISLANDS. EXISTING GRAVEL HAS GRAY/BEIGE ROUND STONES.

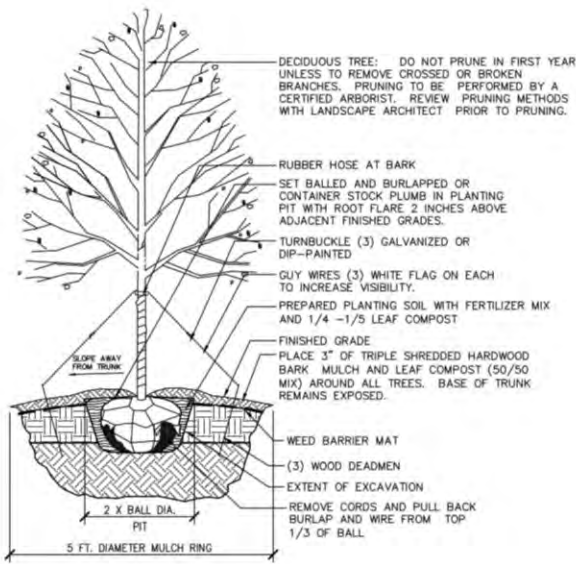
PLANTING SCHEDULE

TREES

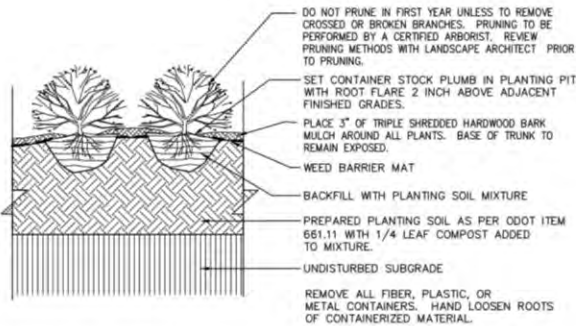
QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
2	TT	TILIA TOMENTOSA 'STERLING'	STERLING SILVER LINDEN	3" CAL.	B&B	SPACING AS PER PLAN
2	OR	QUERCUS RUBRA	RED OAK	3" CAL.	B&B	SPACING AS PER PLAN

SHRUBS

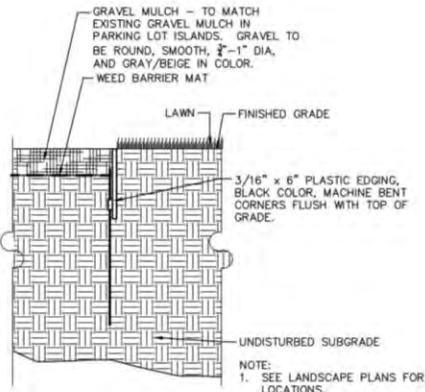
QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
8	RA	RHUS AROMATIC 'GRD-LW'	GRD-LW SUMAC	18" HT.	NO. 3 CONT.	SPACING AS PER PLAN



2 DECIDUOUS TREE PLANTING  
SCALE: N.T.S.

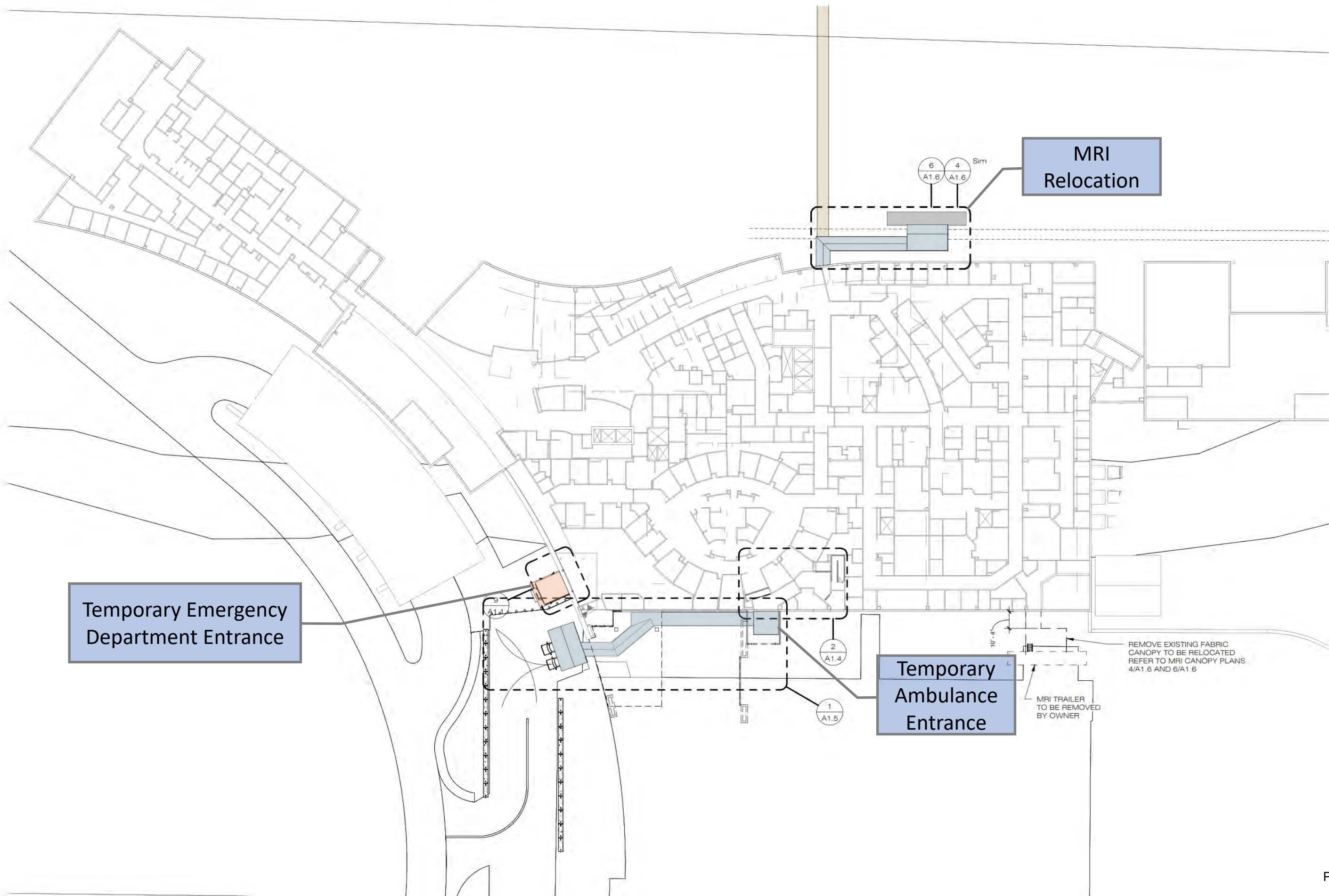


3 SHRUB PLANTING  
SCALE: N.T.S.



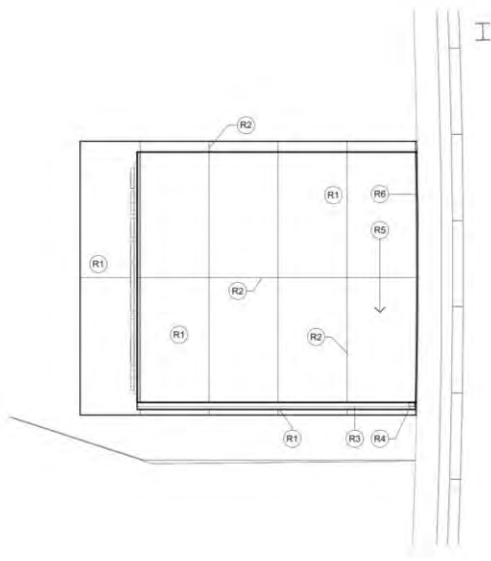
6 PLANTING BED EDGING  
SCALE: N.T.S.

# Composite Site Plan

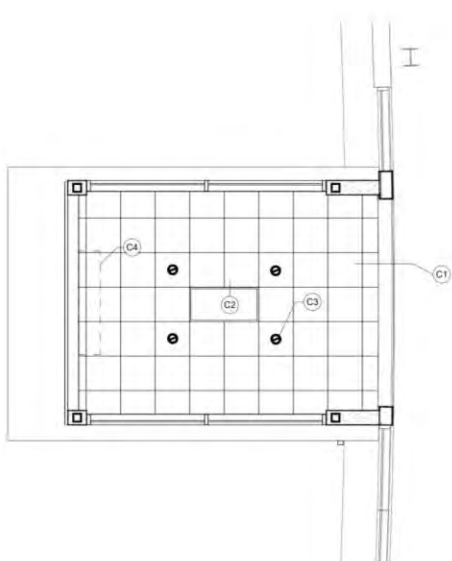


ED Entry - Vestibule Plans & Elevations

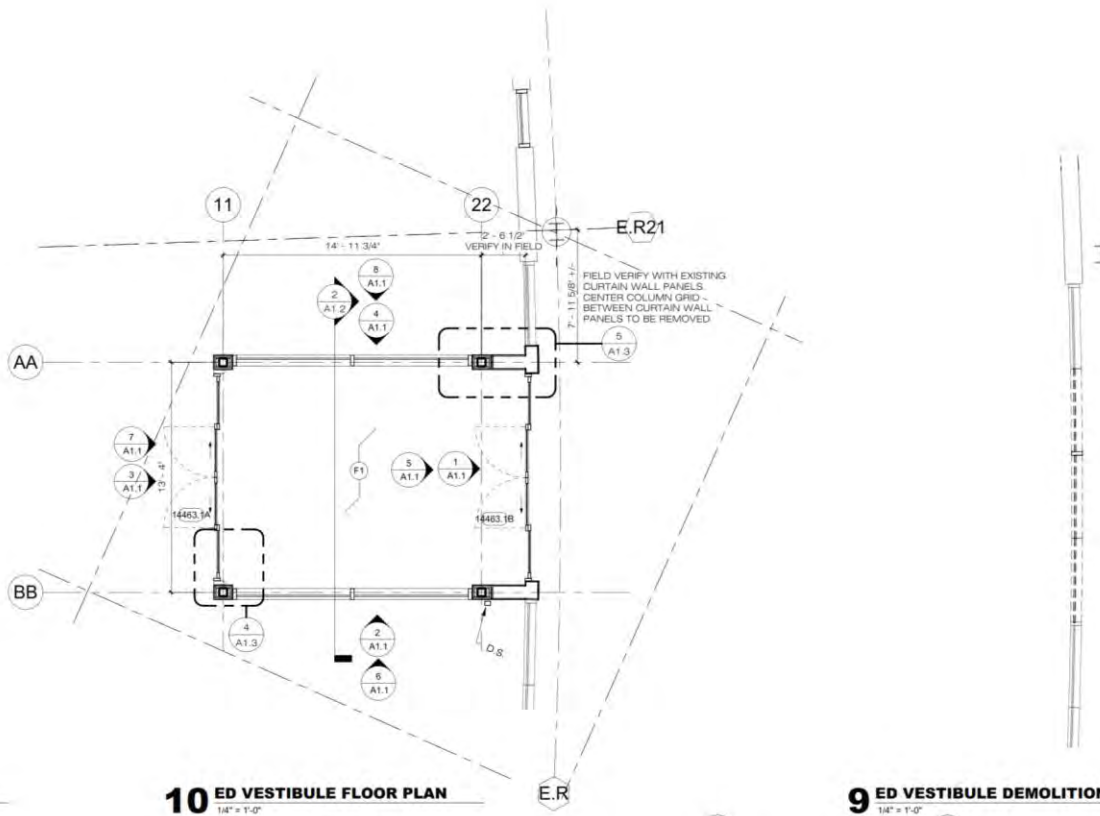
12 ED VESTIBULE ROOF PLAN  
1/4" = 1'-0"



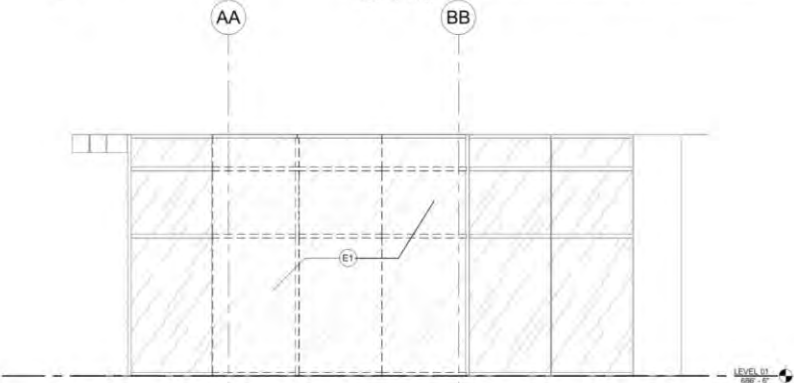
11 ED VESTIBULE REFLECTED CEILING PLAN  
1/4" = 1'-0"



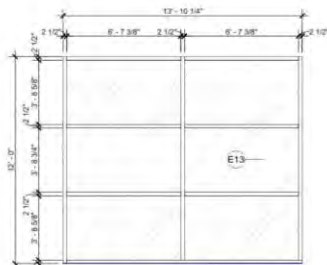
10 ED VESTIBULE FLOOR PLAN  
1/4" = 1'-0"



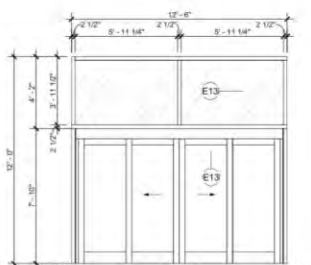
9 ED VESTIBULE DEMOLITION PLAN  
1/4" = 1'-0"



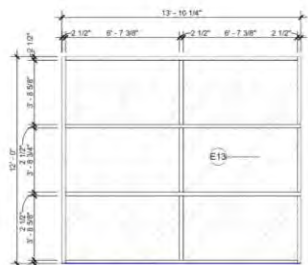
8 NORTH ED VESTIBULE FRAME  
1/4" = 1'-0"



7 WEST ED VESTIBULE FRAME  
1/4" = 1'-0"

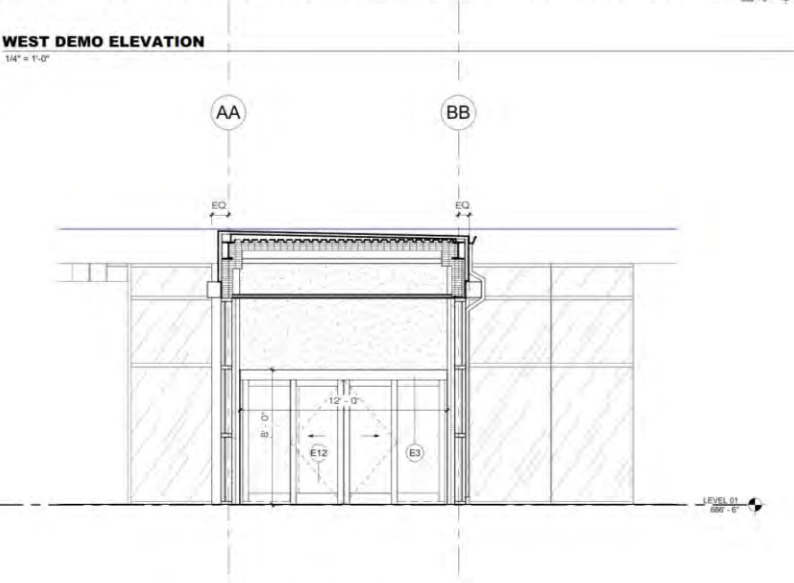


6 SOUTH ED VESTIBULE FRAME  
1/4" = 1'-0"

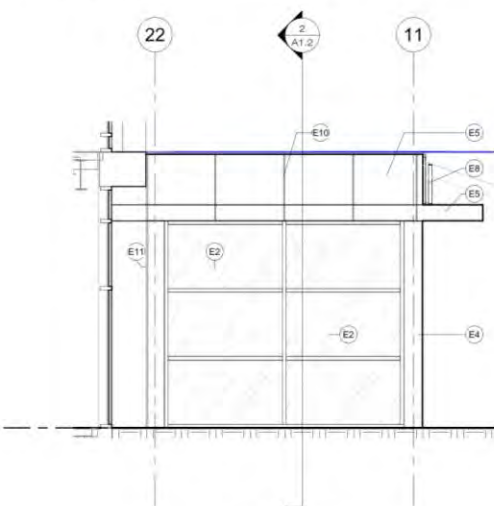


KEYNOTE LEGEND	
Key Value	Keynote Text
C1	2' x 2' ACOUSTIC PANEL LAY-IN CEILING AT 12'-0" A.F.F.
C2	RADIANT HEATER - REFER TO MECHANICAL DRAWINGS
C3	DOWNLIGHT - REFER TO ELECTRICAL DRAWINGS
C4	AIR CURTAIN - REFER TO ELECTRICAL DRAWINGS
E1	REMOVE EXISTING GLAZING AND ALUMINUM CURTAIN WALL SYSTEM
E2	GLAZED ALUMINUM CURTAIN WALL SYSTEM
E3	ALUMINUM SLIDING GLASS DOOR SYSTEM
E4	1 LAYER COMPOSITE METAL PANEL ADHERED OVER EXISTING SHEATHING
E5	COMPOSITE METAL PANEL
E6	ALUMINUM GUTTER
E7	ALUMINUM DOWNSPOUT
E8	EXISTING "EMERGENCY" SIGN RELOCATED
E9	SLOPE COMPOSITE PANELS 1/4" PER FOOT
E10	COMPOSITE METAL PANEL JOINT - BACKER ROD AND SEALANT
E11	EXPANSION JOINT
E12	1/4" TEMPERED GLASS
E13	1" TINTED TEMPERED INSULATING GLASS
F1	FINISHES - FLOORS - EXISTING TO REMAIN; WALLS AND CEILINGS - PAINT GYPSUM BOARD; WALL BASE - COVE RUBBER TO MATCH EXISTING
R1	COMPOSITE METAL PANEL
R2	COMPOSITE METAL PANEL JOINT - BACKER ROD AND SEALANT
R3	ALUMINUM GUTTER
R4	ALUMINUM DOWNSPOUT
R5	SLOPE COMPOSITE METAL PANELS 1/4" PER FOOT
R6	EXPANSION JOINT

5 WEST DEMO ELEVATION  
1/4" = 1'-0"



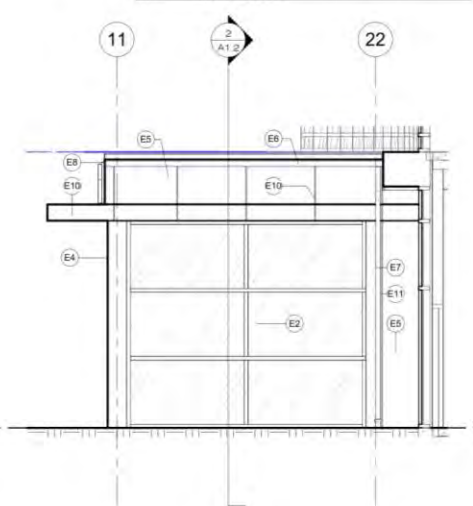
4 NORTH ELEVATION  
1/4" = 1'-0"



3 WEST ELEVATION  
1/4" = 1'-0"



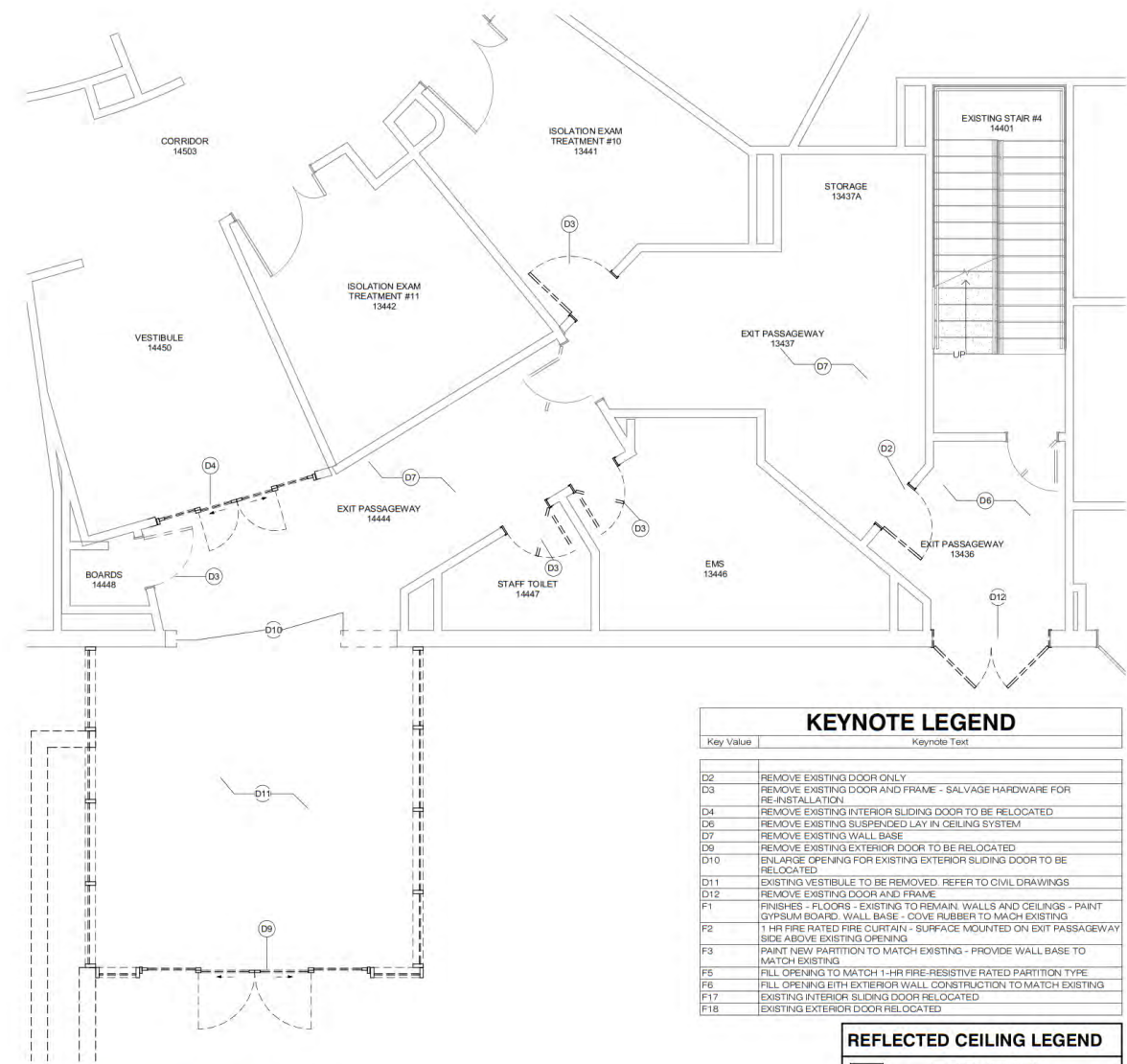
2 SOUTH ELEVATION  
1/4" = 1'-0"



1 WEST INTERIOR ELEVATION  
1/4" = 1'-0"

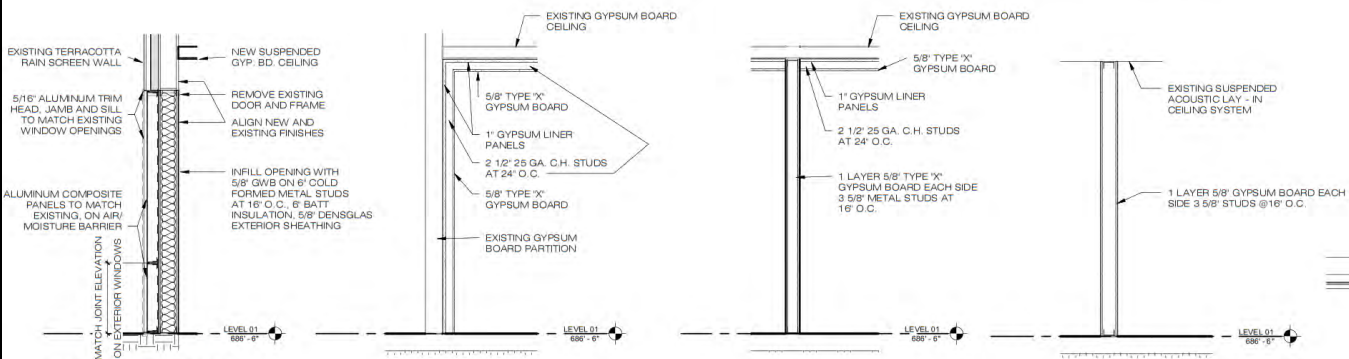


# Exit Passageway Plans & Details

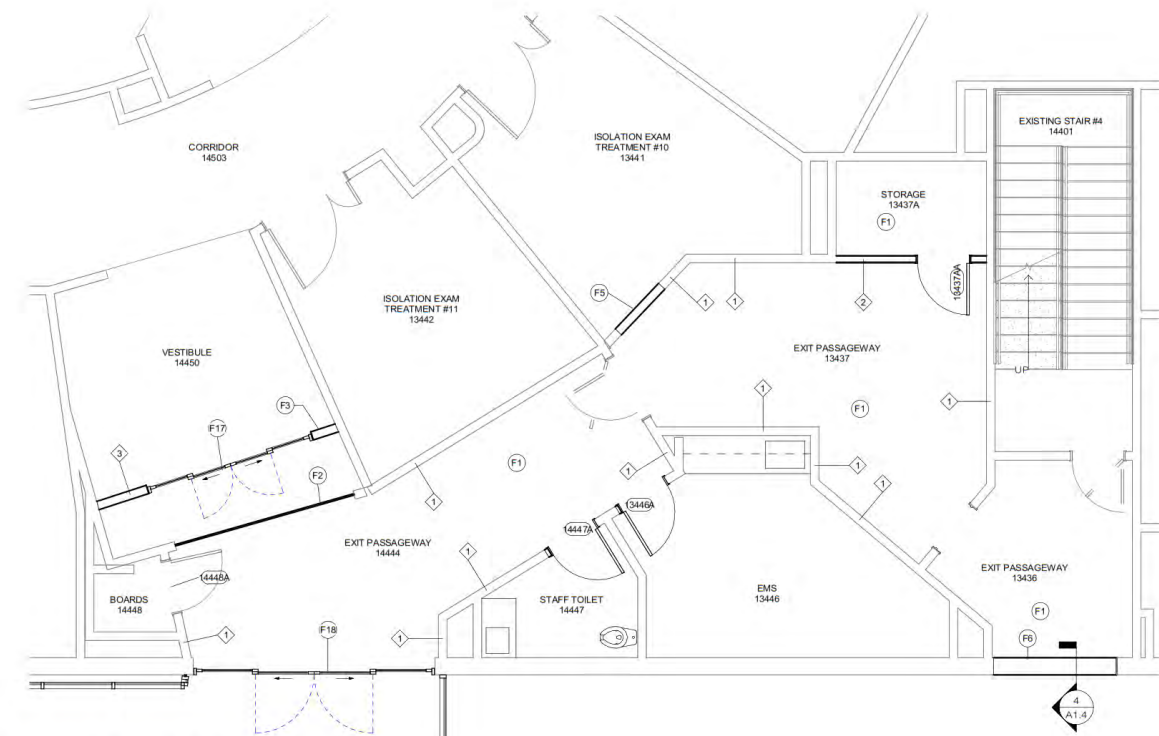


KEYNOTE LEGEND	
Key Value	Keynote Text
D2	REMOVE EXISTING DOOR ONLY
D3	REMOVE EXISTING DOOR AND FRAME - SALVAGE HARDWARE FOR RE-INSTALLATION
D4	REMOVE EXISTING INTERIOR SLIDING DOOR TO BE RELOCATED
D6	REMOVE EXISTING SUSPENDED LAY IN CEILING SYSTEM
D7	REMOVE EXISTING WALL BASE
D9	REMOVE EXISTING EXTERIOR DOOR TO BE RELOCATED
D10	ENLARGE OPENING FOR EXISTING EXTERIOR SLIDING DOOR TO BE RELOCATED
D11	EXISTING VESTIBULE TO BE REMOVED. REFER TO CIVIL DRAWINGS
D12	REMOVE EXISTING DOOR AND FRAME
F1	FINISHES - FLOORS - EXISTING TO REMAIN. WALLS AND CEILINGS - PAINT GYPSUM BOARD. WALL BASE - COVE RUBBER TO MATCH EXISTING
F2	1 HR FIRE RATED FIRE CURTAIN - SURFACE MOUNTED ON EXIT PASSAGEWAY SIDE ABOVE EXISTING OPENING
F3	PAINT NEW PARTITION TO MATCH EXISTING - PROVIDE WALL BASE TO MATCH EXISTING
F5	FILL OPENING TO MATCH 1-HR FIRE-RESISTIVE RATED PARTITION TYPE
F6	FILL OPENING ETH EXTERIOR WALL CONSTRUCTION TO MATCH EXISTING
F17	EXISTING INTERIOR SLIDING DOOR RELOCATED
F18	EXISTING EXTERIOR DOOR RELOCATED

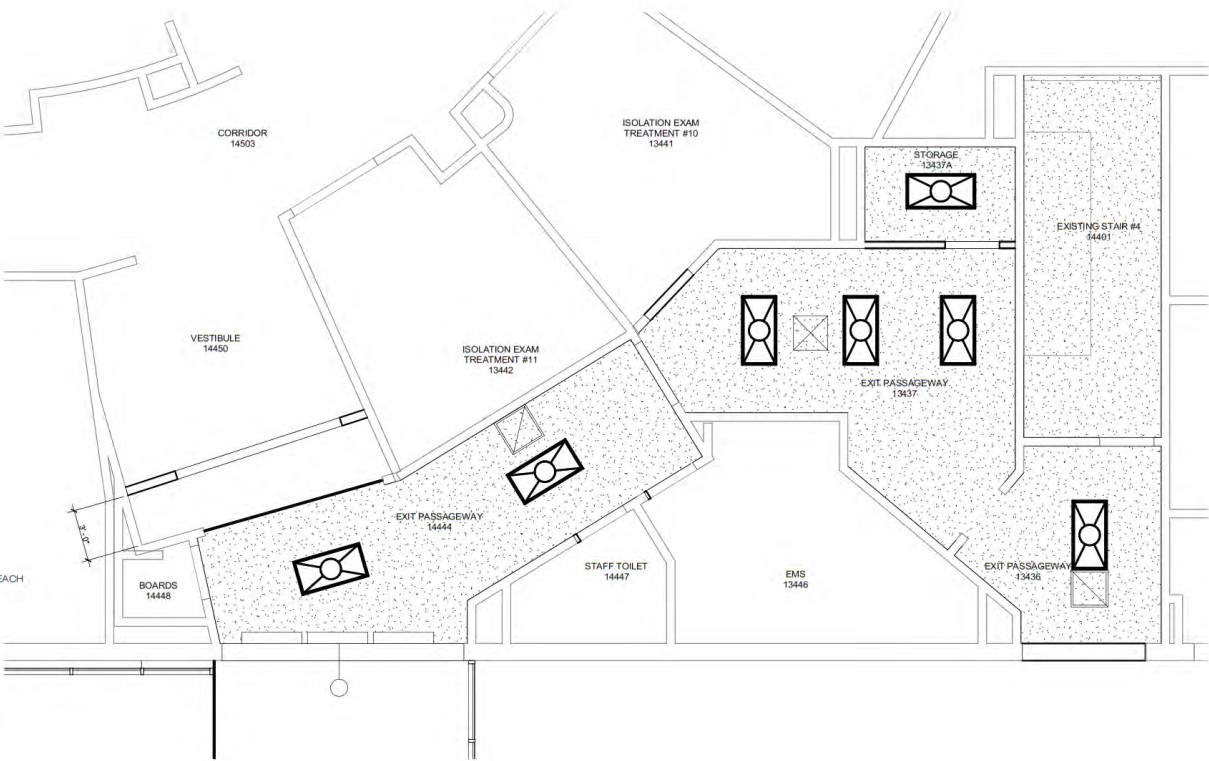
REFLECTED CEILING LEGEND	
	1HR RATED HORIZONTAL CEILING ASSEMBLY - REFER TO WALL TYPES 1 & 2
	SUPPLY DIFFUSER - REFER TO MECHANICAL DRAWINGS
	RETURN GRILLE - REFER TO MECHANICAL DRAWINGS
	2X4 SURFACE MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
	RELOCATED LINEAR DIFFUSER - REFER TO MECHANICAL DRAWINGS



- 1 1 HR FIRE RATED PARTITION UL DESIGN U415 SYSTEM A
- 2 1 HR FIRE RATED PARTITION UL DESIGN U465
- 3 NON - RATED PARTITION

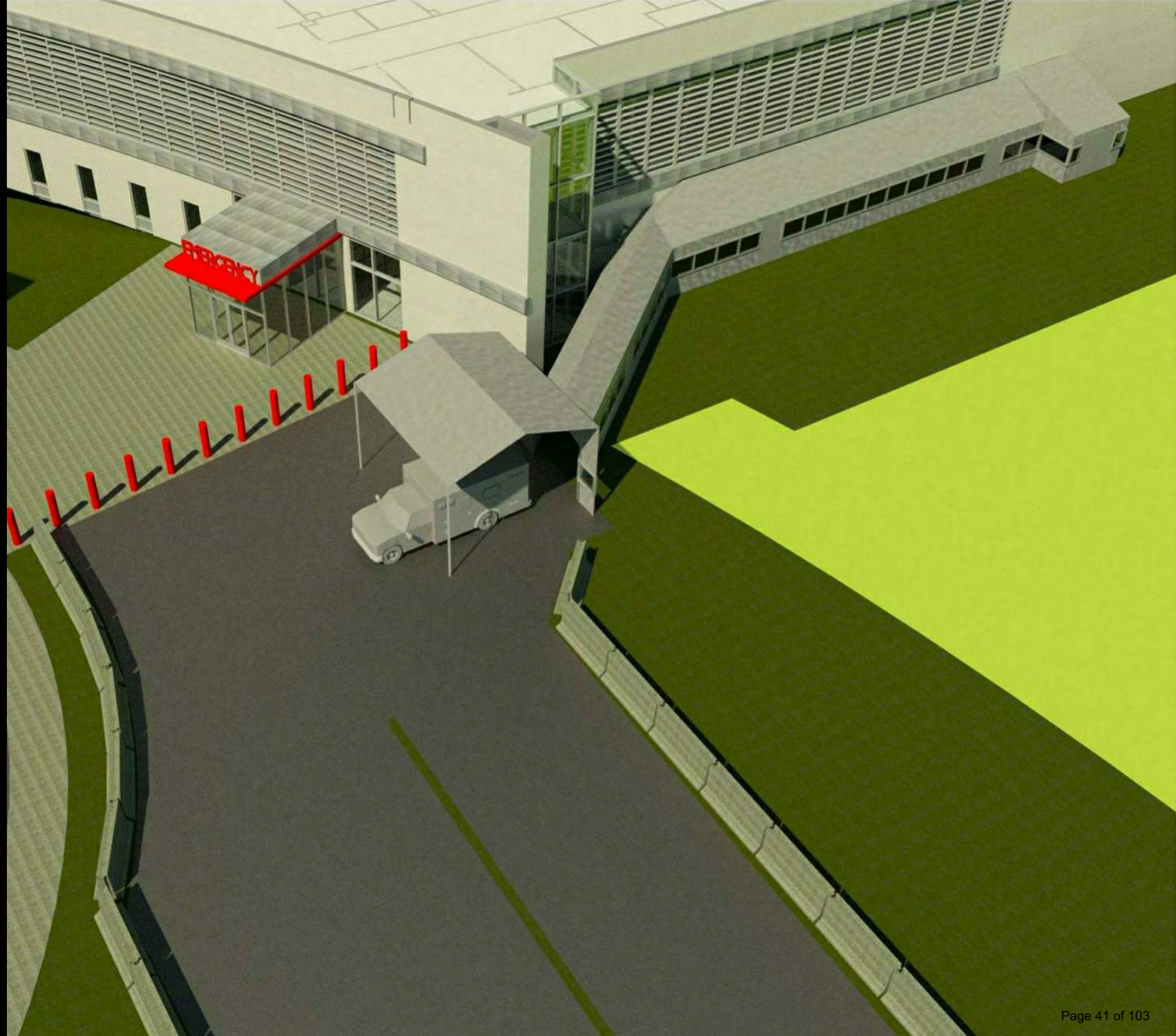


2 EXIT PASSAGEWAY FLOOR PLAN  
1/4" = 1'-0"

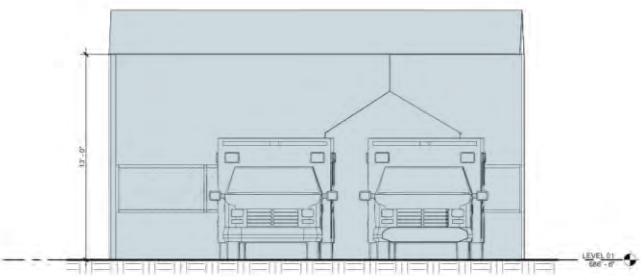


1 EXIT PASSAGEWAY REFLECTED CEILING PLAN  
1/4" = 1'-0"

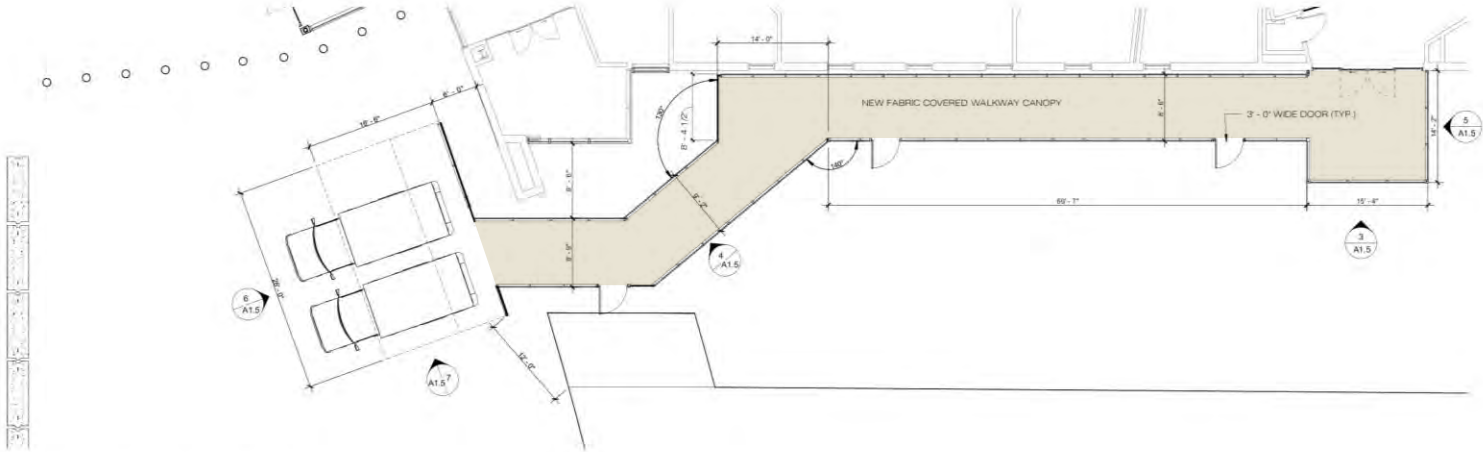
Proposed Temporary  
Emergency  
Department Entrance  
and Ambulance  
Entrance



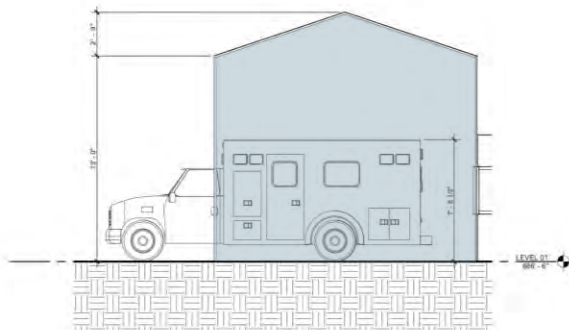
Ambulance Entrance –  
Floor Plan and  
Elevations



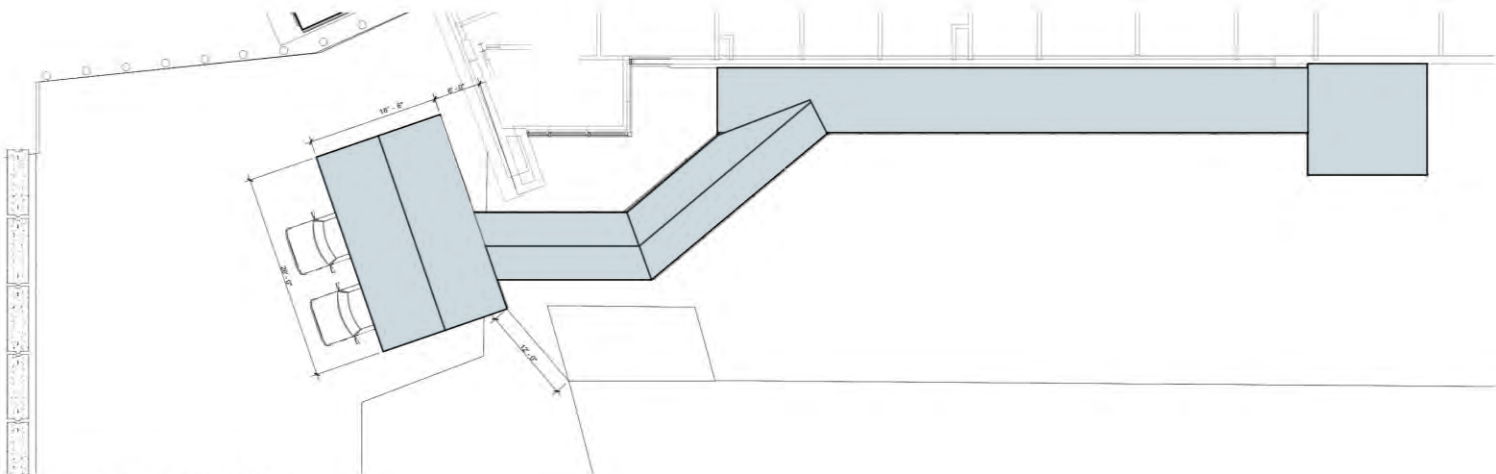
6 AMBULANCE CANOPY WEST ELEVATION  
1/4" = 1'-0"



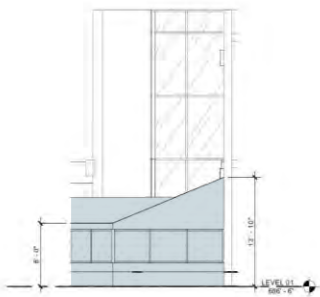
1 AMBULANCE CANOPY FLOOR PLAN  
1/8" = 1'-0"



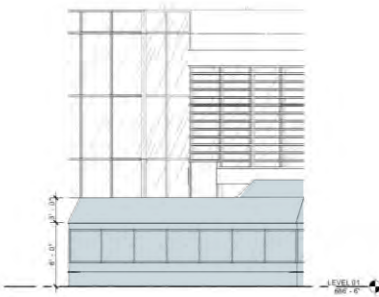
7 AMBULANCE CANOPY SOUTH ELEVATION.  
1/4" = 1'-0"



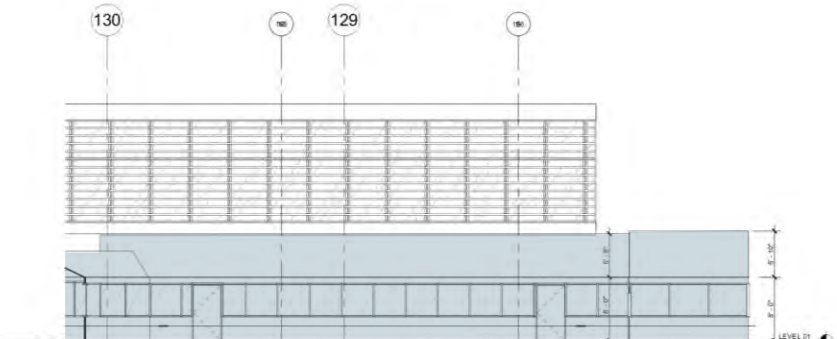
2 AMBULANCE CANOPY ROOF PLAN  
1/8" = 1'-0"



5 AMBULANCE CANOPY EAST ELEVATION  
1/8" = 1'-0"

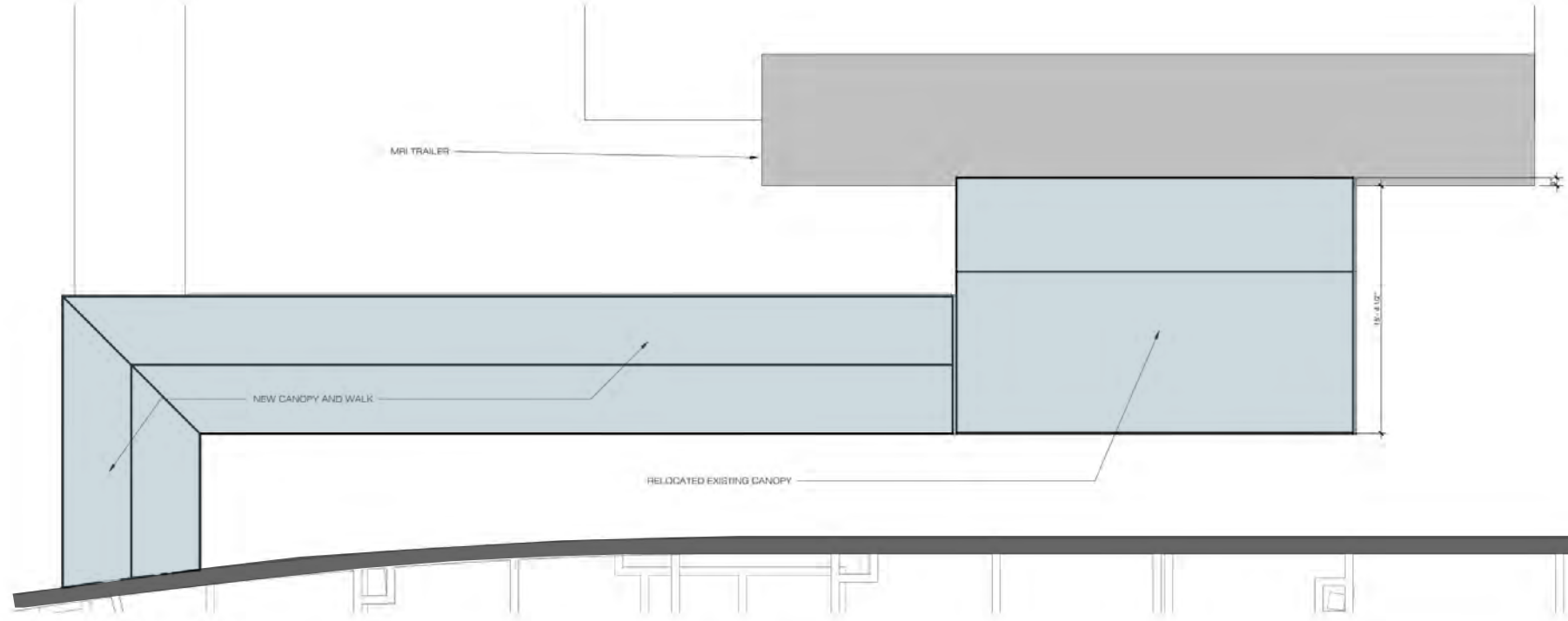


4 AMBULANCE CANOPY SOUTH WEST ELEVATION  
1/8" = 1'-0"

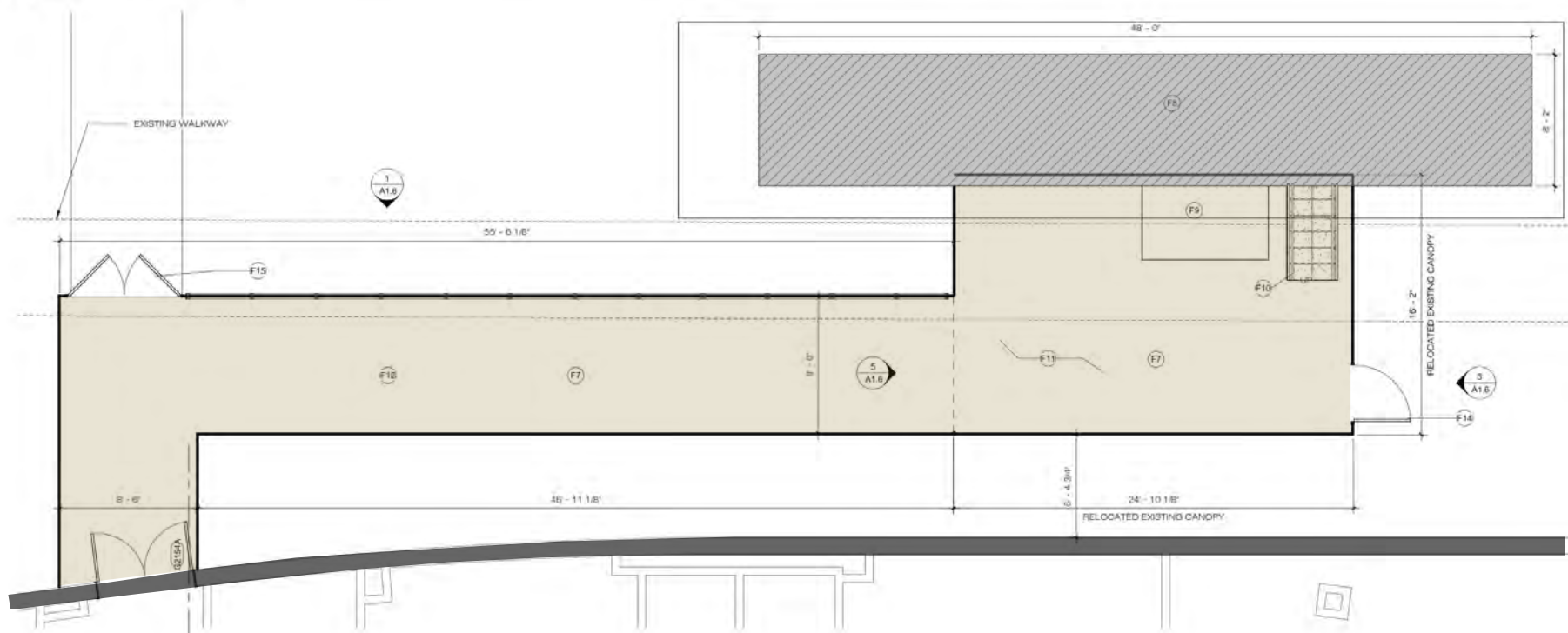


3 AMBULANCE CANOPY SOUTH ELEVATION  
1/8" = 1'-0"

MRI  
Relocation –  
Floor Plan &  
Elevations



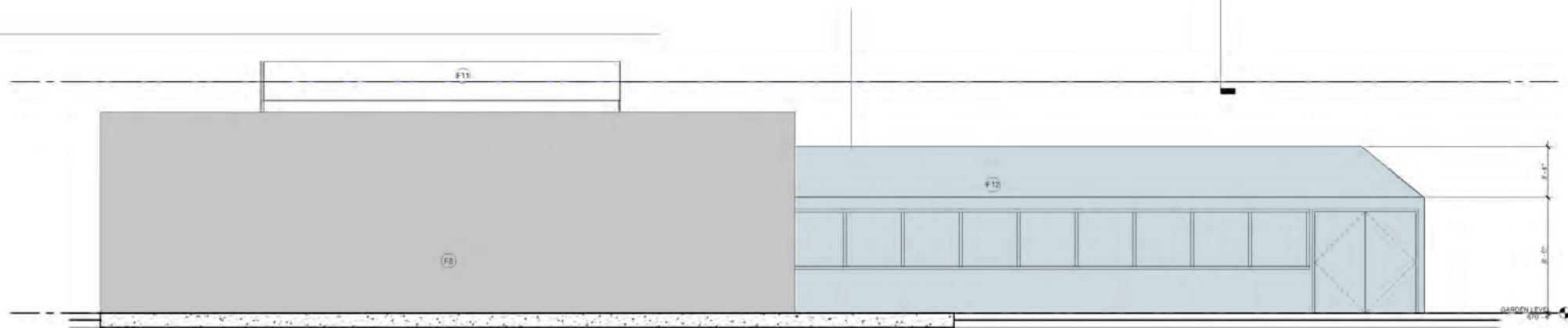
**6 MRI CANOPY ROOF PLAN**  
1/4" = 1'-0"



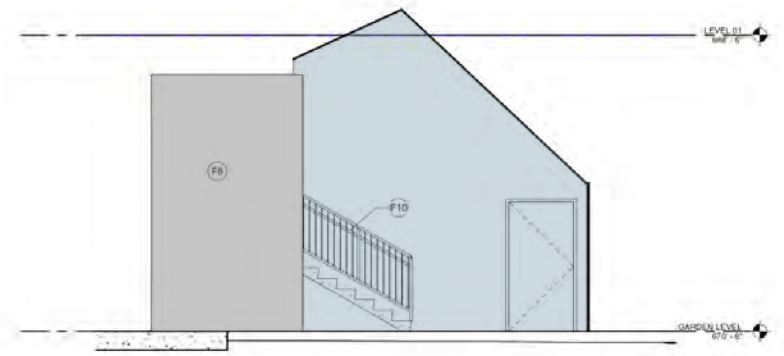
**4 MRI CANOPY FLOOR PLAN**  
1/4" = 1'-0"



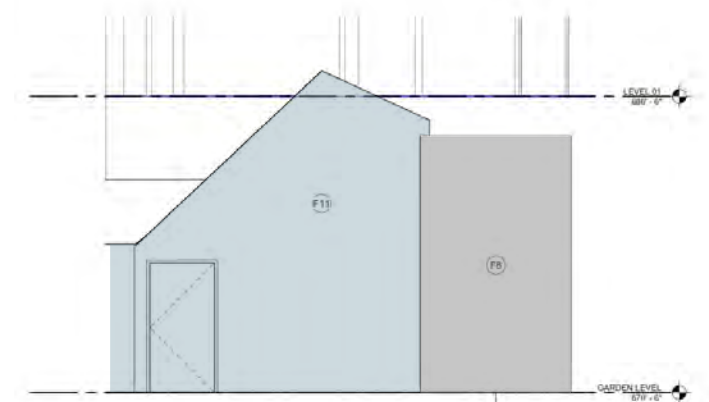
**2 MRI CANOPY DEMO PLAN**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"



**5 EAST ELEVATION**  
1/4" = 1'-0"



**3 WEST ELEVATION**  
1/4" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
D2	REMOVE EXISTING DOOR ONLY
D6	CUT OPENING IN EXISTING WALL FOR NEW DOOR AND FRAME
F7	CONCRETE SLAB - REFER TO CIVIL DRAWINGS
F8	MRI TRAILER
F9	MRI TRAILER LIFT
F10	MRI TRAILER STAIR
F11	EXISTING CANOPY RELOCATED
F12	NEW FABRIC COVERED CANOPY
F14	NEW 3'-0" WIDE DOOR WITH EXIT HARDWARE IN EXISTING FABRIC CANOPY
F15	PAIR 3'-0" DOOR WITH EXIT HARDWARE IN NEW FABRIC WALKWAY CANOPY

Site Photos – Existing MRI



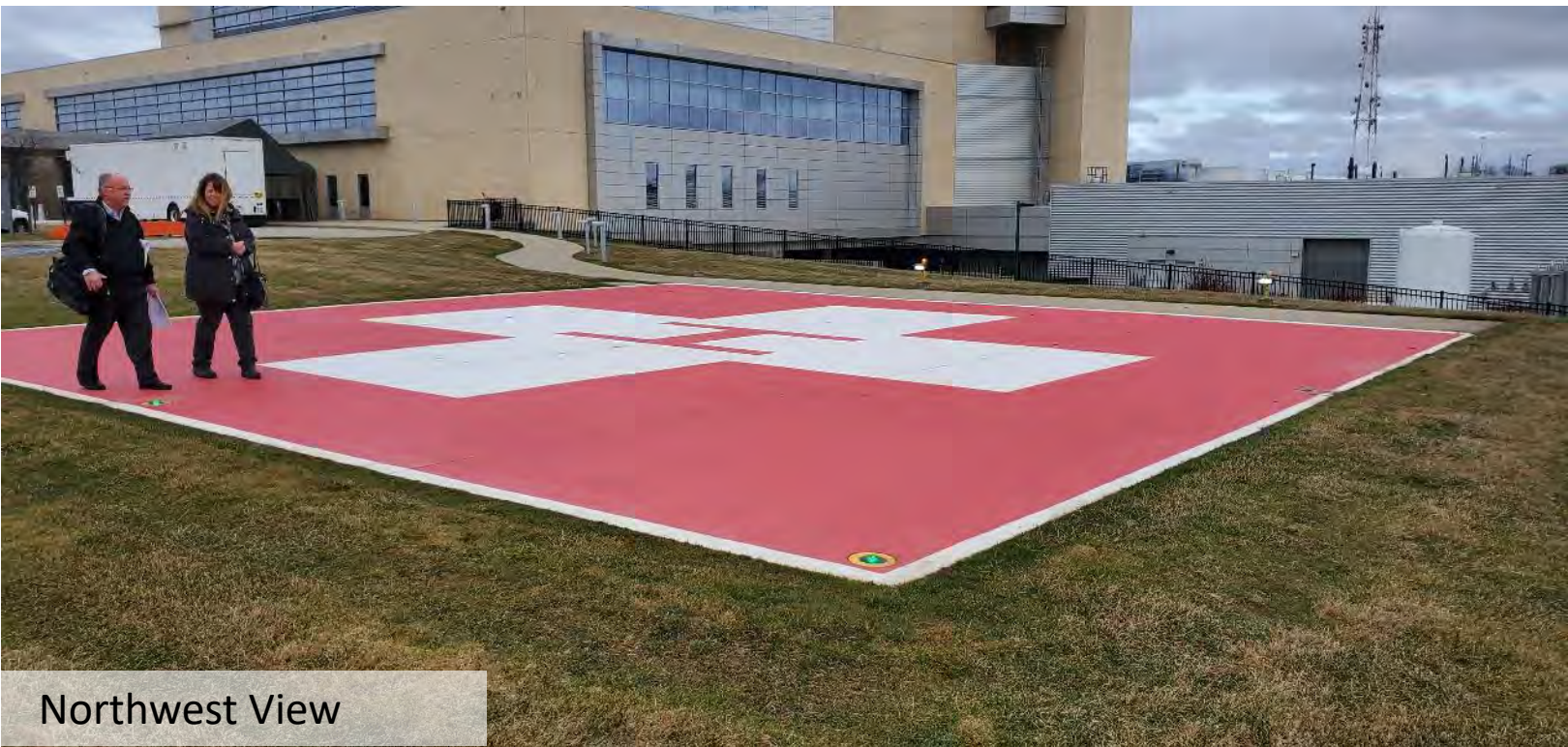
# Site Photos – Existing MRI



# Site Photos – Proposed MRI Relocation & Helipad



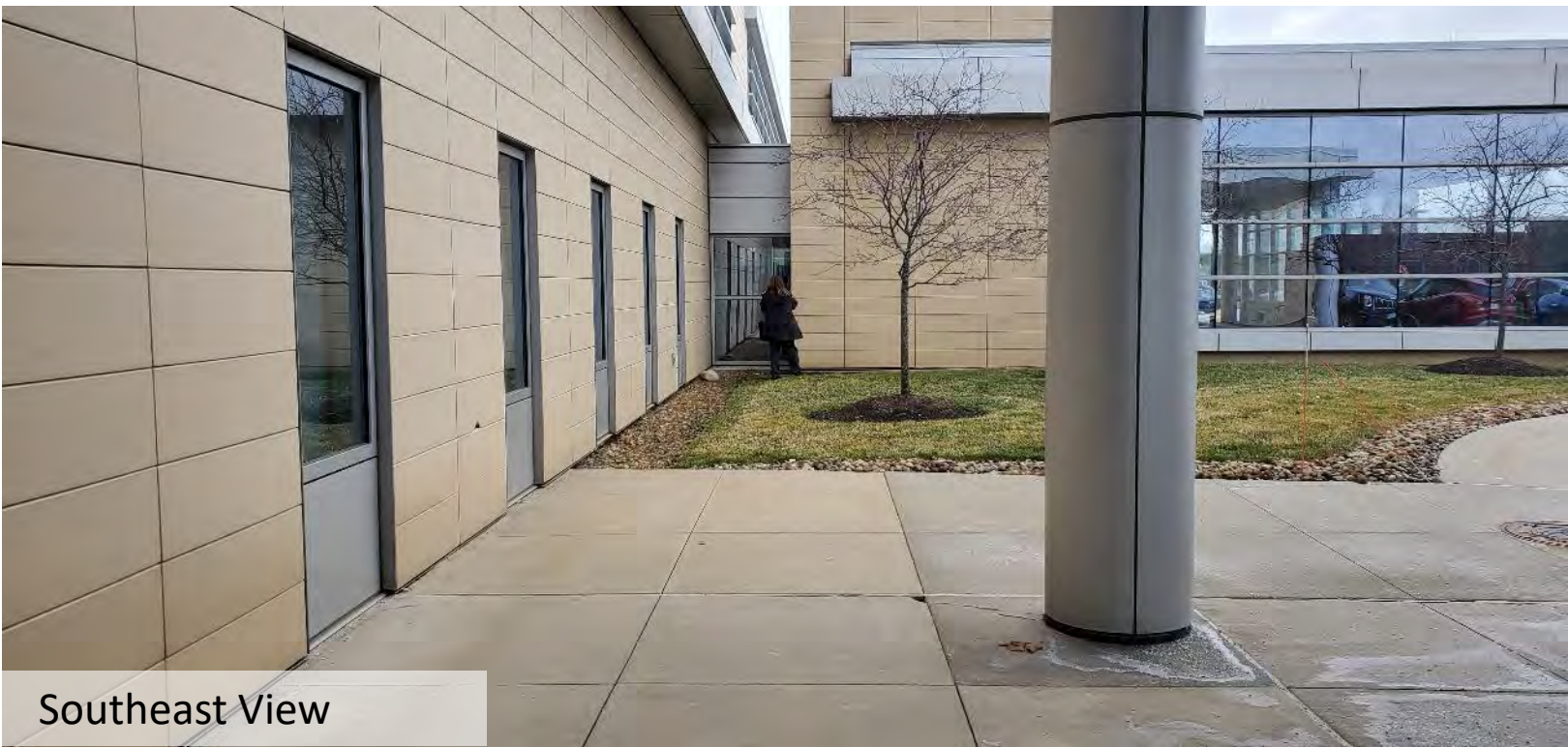
# Site Photos – Proposed MRI Relocation & Helipad



# Site Photos – Temporary Emergency Department Entrance



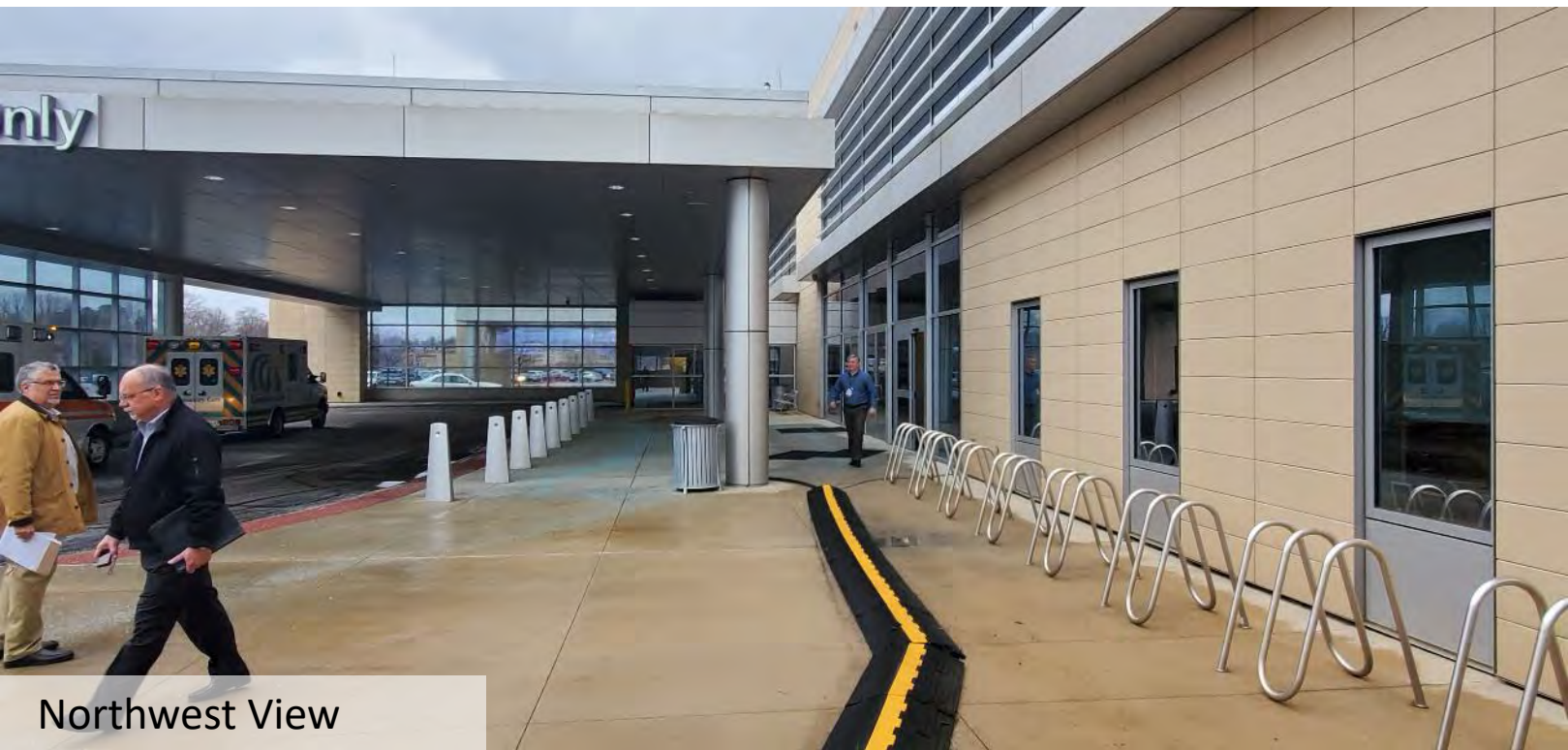
# Site Photos – Proposed Ambulance Entrance



# Site Photos – Proposed Ambulance Entrance



Southeast View



Northwest View

Signage Plan –  
Existing  
Conditions &  
Removals

No New Signs

Signs to be  
Revised &  
Relocated



Signage Plan –  
New Work



23



MOUNT SIGN ON CONSTRUCTION  
FENCING ABOVE JERSEY BARRIER 29



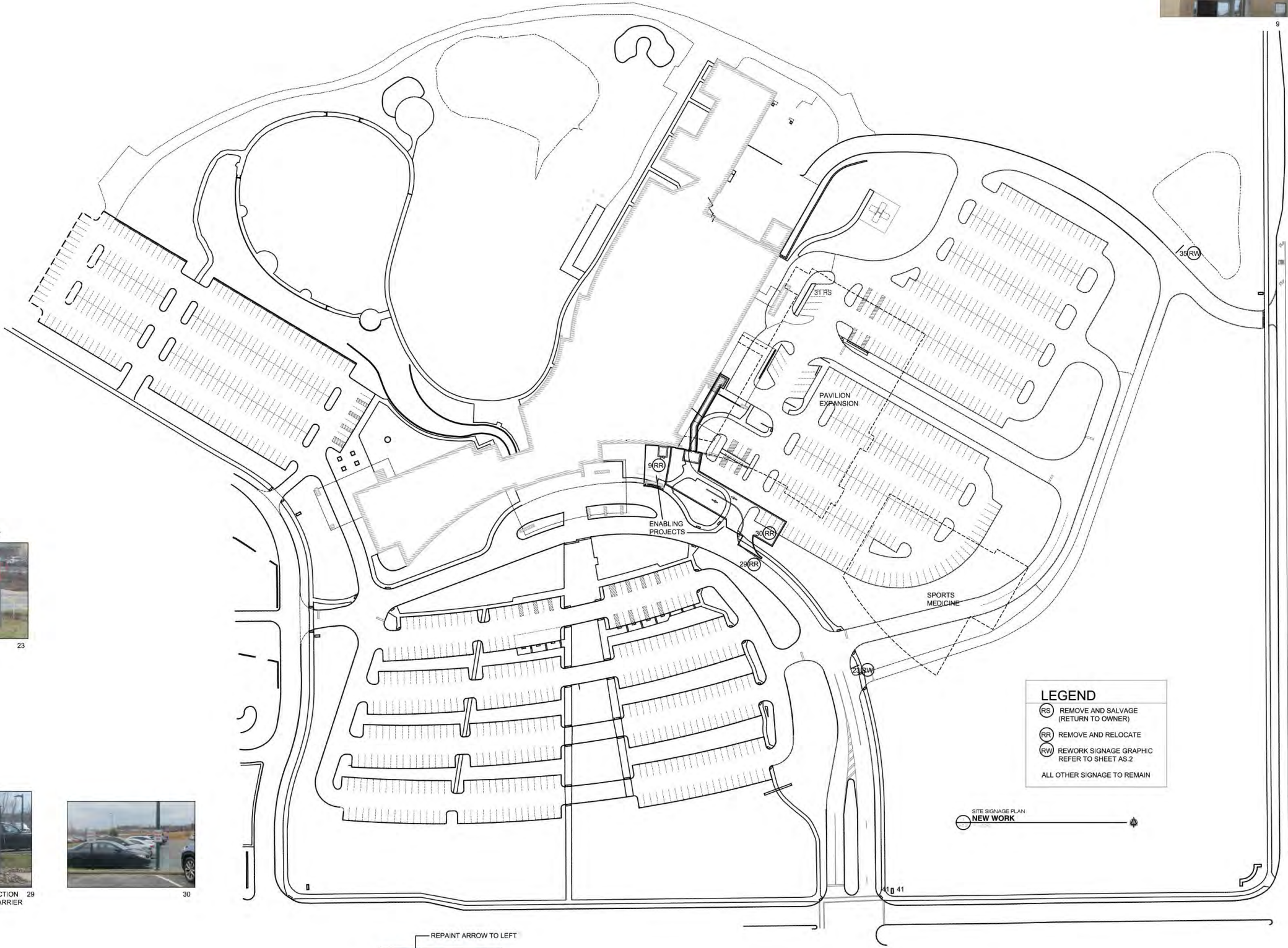
30



35



9



# Signage



# Signage



<b>P&amp;Z:</b>	<b>ZONING DATA</b>		<b>DATE: 3/30/20</b>
<b>ZONING STANDARDS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
ZONING DISTRICT	U-10 (PUD)	U-10 (PUD)	no
MINIMUM LOT AREA	3 acres	41.83 acres	no
MINIMUM LOT FRONTAGE			
MINIMUM FRONT YARD BUILDING SETBACK	75 ft. Harvard 75 ft. Richmond	75' ft. Harvard 75' Richmond	no
MINIMUM SIDE YARD BUILDING SETBACK	50 ft. Auburn	50' Auburn	no
MINIMUM REAR YARD BUILDING SETBACK	1/2 Ht. Bldg. 5 ft. minimum	15' east property line	no
MAXIMUM BUILDING HEIGHT	150 ft.	Single story temporary additions	no
MINIMUM LANDSCAPED AREA	20% Greenspace	49.4% Greenspace	no
MINIMUM PARKING SETBACKS	Front = 35 Side = 15 Auburn Rear = 10	Front = 35 Side = 25 Auburn Rear = 10	no
MINIMUM DRIVE AISLE	24'-0"	24'-0"	no
MINIMUM PARKING STALL	9'x18'	9'x18'	no
MINIMUM OFF-STREET PARKING	888 spaces (Phase I requirement)	1131 spaces (Risman Lot Expansion)	no
SITE DEVELOPMENT PLANS	Req'd	Arch / Site / Landscape / MEP / Struct submitted	no

Zoning Code  
Review (Box  
Score)



Cuyahoga County Treasurer  
2079 East 9th Street Cleveland, OH 44115  
For Assistance, Call 216.443.7420 or  
Ohio Relay Service 711 (Hearing Impaired)

Real Estate Taxes For Second Half of 2019

Parcel Number	Property Owner
742-33-007	UNIVERSTIY HOSP HEALTH SYSTEMINC

Parcel Address	Property Description
RICHMOND RD, Beachwood, OH 44122	PCL A VOL 358 PGS 92-93 FF 1057.28 42.026AC OL 70 2010S/R

Market Value	35% Taxable Value	Homestead Exempt	Property Class
LAND 29,700 BUILDING 1,597,500 TOTAL 1,627,200	LAND 10,400 BUILDING 559,130 TOTAL 569,530		MEDICAL CLINICS AND OFFICES

Taxing District	Tax Rate	Reduction Factor	Effective Tax Rate
Beachwood/Warrensville	126.73	.174377	104.6312

Tax Calculations	
REAL ESTATE TAXES	72,176.54
LESS TAX REDUCTION	-12,585.92
SUBTOTAL	59,590.62
NET REAL ESTATE TAX	59,590.62
SPECIAL ASSESSMENTS	55,152.98
SANITARY ENGINEER (216-443-8242)	22,806.98
TOTAL CURRENT TAX	137,550.58
LESS PAYMENTS	68,775.30
TOTAL DUE	68,775.28
Current Due 68,775.28	

[View full year summary](#)

Payment Options

PRINT BILL

PAY BY E-CHECK

PAY BY CREDIT CARD

Second Half Due Date: 07/16/2020

If taxes are not paid by the date indicated above, a 10% penalty shall be applied without further notice.



Cuyahoga County Treasurer  
2079 East 9th Street Cleveland, OH 44115  
For Assistance, Call 216.443.7420 or  
Ohio Relay Service 711 (Hearing Impaired)

Current Taxes Due For Year 2019

Amount Due	Parcel Number
68,775.28	742-33-007
Write Amount Paid Here	

MAKE CHECKS PAYABLE TO:  
CUYAHOGA COUNTY TREASURER  
P.O. BOX 94547  
CLEVELAND, OH 44101-4547

Primary Owner  
Property Address  
Tax Mailing Address  
Legal Description  
Property Class  
Parcel Number  
Taxset  
Tax Year

UNIVERSTIY HOSP HEALTH SYSTEMINC  
RICHMOND RD Beachwood, OH 44122  
UNIVERSITY HOSPITALS HEALTH SYSTEM, INC 3605 WARRENSVILLE CTR RD OFFICE # 2241 BEACHWOOD, OH 44122  
PCL A VOL 358 PGS 92-93 FF 1057.28 42.026AC OL 70 2010S/R  
MEDICAL CLINICS AND OFFICES  
742-33-007  
Beachwood/Warrensville  
2019 Pay 2020 ▼

[Download This Report \(PDF\)](#)

Tax Bill

Assessed Values

Land Value	\$10,400
Building Value	\$559,130
Total Value	\$569,530
Homestead Value	\$

Half Year Charge Amounts

Gross Tax	\$36,088.27
Less 920 Reduction	\$6,292.96
Sub Total	\$29,795.31
Non-business Credit	\$0.00
Owner Occupancy Credit	\$0.00
Homestead Reduction Amount	\$0.00
Total Assessments	\$38,979.99
Half Year Net Taxes	\$68,775.30

Market Values

Land Value	\$29,700
Building Value	\$1,597,500
Total Value	\$1,627,200

Rates

Full Rate	126.73
920 Reduction Rate	.174377
Effective Rate	104.6312

Flags

Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Escrow

Escrow	N
Payment Amount	\$0.00

Tax Balance Summary	Charges \$137,550.58	Payments \$68,775.30	Balance Due \$68,775.28
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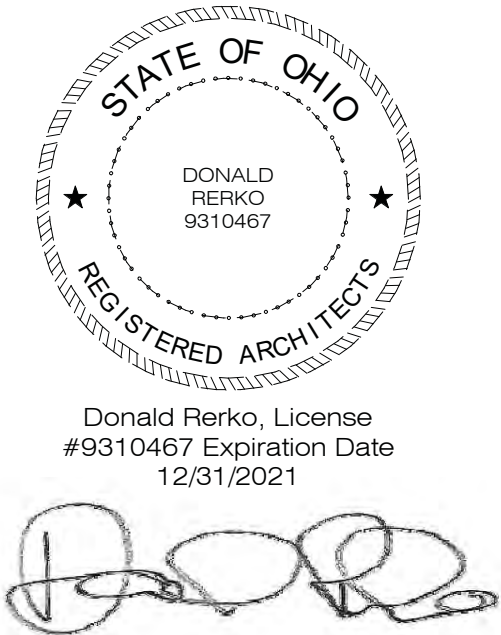
2019 (pay in 2020) Charge and Payment Detail

Detach here. Return bottom portion with your payment. Keep top portion for your records.

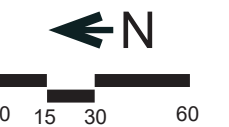
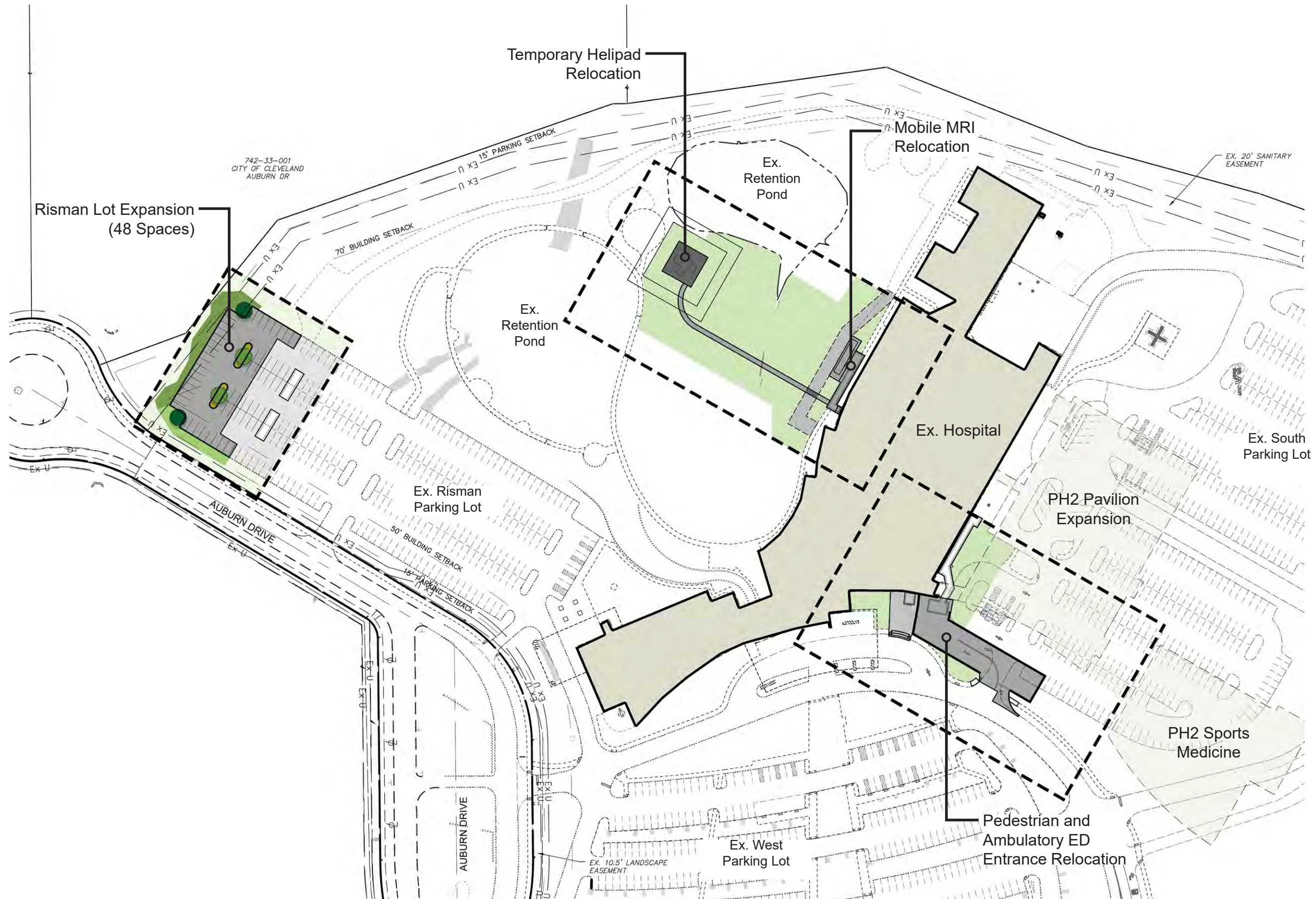
AHUJA MEDICAL CENTER - PHASE 2 ENABLING PROJECTS  
BEACHWOOD, OH



<b>OWNER</b>
UNIVERSITY HOSPITAL 11100 EUCLID AVENUE CLEVELAND, OH 44106
<b>ARCHITECT</b>
HKS ARCHITECTS, P.C. 107 GRAND STREET, 6TH FLOOR NEW YORK, NY 10013
<b>ENABLING ARCHITECT</b>
MAKOVICH & PUSTI, ARCHITECTS, INC. 111 FRONT STREET BEREA, OH 44017-1912
<b>STRUCTURAL</b>
BARBER HOFFMAN 2217 E. 9TH STREET, SUITE 350 CLEVELAND, OH 44115
<b>MEP</b>
OSBORN ENGINEERING 1100 SUPERIOR AVENUE, SUITE 300 CLEVELAND, OHIO 44114
<b>LANDSCAPE</b>
AECOM 1300 EAST 9TH STREET, SUITE 500 CLEVELAND, OH 44114
<b>CIVIL</b>
OSBORN ENGINEERING 1100 SUPERIOR AVENUE, SUITE 300 CLEVELAND, OHIO 44114
<b>LOW VOLTAGE</b>
ROSS & BARUZZINI / EDI 150 BROADWAY, 10TH FLOOR NEW YORK, NY 10038
<b>HELI-PAD CONSULTANT</b>
FEC HELIPORTS 5288 RIVER RD. CINCINNATI, OH 45233
<b>CONSTRUCTION MANAGEMENT</b>
GILBANE 950 MAIN AVENUE CLEVELAND, OHIO 44113



ENABLING ISSUE



Enabling Diagram - Site Plan

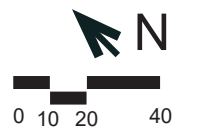
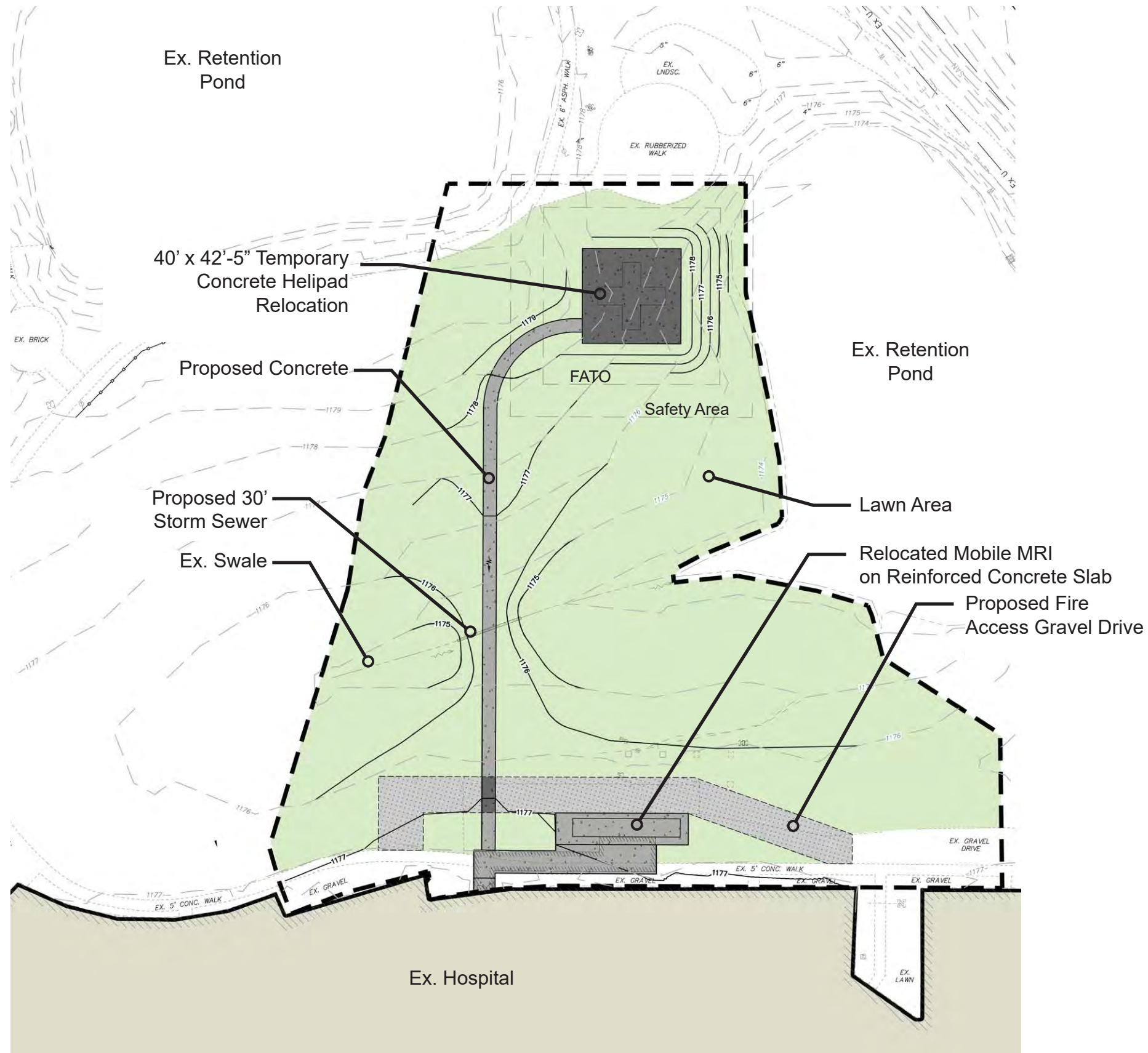
03/30/2020





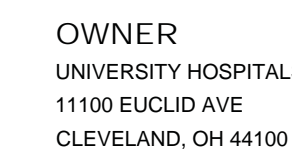
**Enabling Diagram - Pedestrian and Ambulatory ED Entrance Relocation**

03/30/2020



Enabling Diagram - Temporary Helipad and Mobile MRI Relocation

03/30/2020



ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

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MAKOVICH & PUSTI ARCHITECTS INC  
111 FRONT ST  
BEREA, OH 44017

MEP ENGINEER  
OSBORN ENGINEERING  
1100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT  
AECOM  
1300 EAST 9TH STREET  
SUITE 500

CIVIL ENGINEERING  
OSBORN ENGINEERING  
1100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

**STRUCTURAL ENGINEERING**  
BARBER & HOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 350  
CLEVELAND, OH 44115

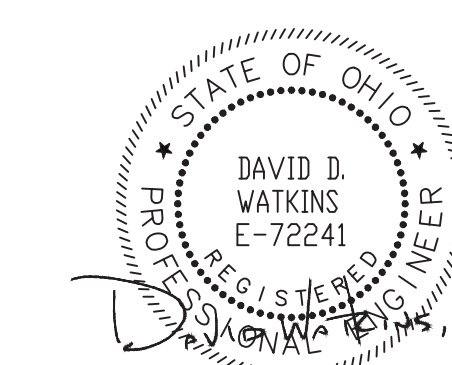
LOW VOLTAGE  
ROSS & BARUZZINI / ED  
150 BROADWAY, 10TH F  
NEW YORK, NY 10038



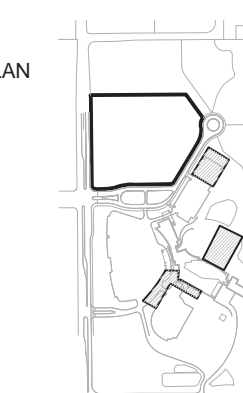
University  
Hospitals

HELI-PAD CONSULTANTS  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



### KEY PLAN



REVISION NO.	DESCRIPTION	DATE
1	PERMIT	3 / 30 / 2
2	P & Z / ARB	3 / 30 / 2

HKS PROJECT NUMBER  
21551.000

DATE  
3/30/2020

ISSUE  
PERMIT

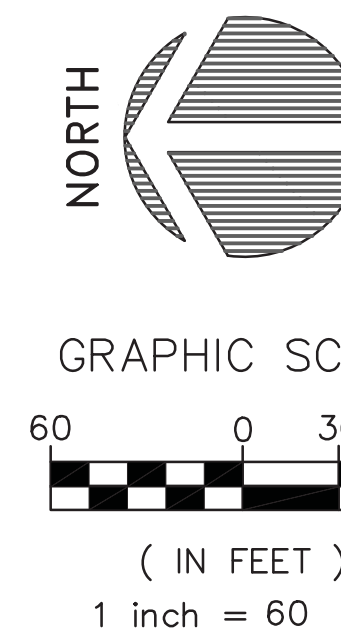
SHEET TITLE  
OVERALL  
SITE PLAN

SHEET NO.

SHEET NO. \_\_\_\_\_

c

C1.00



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E:\University Hospitals\Aug15\20190406 200 UH - Ahuja - Med Ctr Ph II - Civil\Drawings\Civil\Enabling\C1.01.dwg  
Vamsidhar, Adam

SEWER STRUCTURE TABLE

EX. C.B. #1089  
GR=1189.72  
10" CPP (N) INV.=1183.72  
10" CPP (SE) INV.=1183.67  
BOT.=1183.62

EX. C.B. #1268  
GR=1188.89  
10" CPP (S) INV.=1184.59  
BOT.=1184.54

EX. C.B. #1269  
GR=1185.36  
10" CPP (N) INV.=1179.56  
12" CPP (E) INV.=1179.36

EX. C.B. #1270  
GR=1185.21  
12" CPP (E) INV.=1178.51  
12" CPP (W) INV.=1178.41  
18" CPP (S) INV.=1177.61

EX. C.B. #1271  
GR=1187.59  
10" CPP (S) INV.=1184.09

EX. C.B. #1272  
GR=1187.49  
10" CPP (N) INV.=1183.14  
10" CPP (W) INV.=1179.59  
BOT.=1176.49

EX. C.B. #1273  
GR=1186.17  
24" CPP (SW) INV.=1178.52  
24" CPP (NE) INV.=1178.47

EX. C.B. #1274  
GR=1186.45  
24" CPP (NE) INV.=1178.75  
24" CPP (SW) INV.=1178.70  
BOT.=1178.65

EX. C.B. #1275  
GR=1187.28  
10" CPP (N) INV.=1182.93  
24" CPP (NE) INV.=1179.08  
24" CPP (S) INV.=1179.08  
BOT.=1178.83

EX. C.B. #1276  
GR=1187.64  
10" CPP (SW) INV.=1183.59  
BOT.=1183.44

EX. C.B. #1912  
GR=1190.10  
8" CPP (NW) INV.=1186.05

EX. C.B. #1965  
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18" CPP (N) INV.=1180.60  
18" CPP (E) INV.=1180.55  
24" CPP (SW) INV.=1180.00  
BOT.=1179.80

EX. STM. MH. #2098  
RIM=1192.83  
12" PVC (S) INV.=1183.18  
12" PVC (E) INV.=1183.16  
BOT.=1182.83

EX. STM. MH. #2130  
RIM=1193.17  
18" CPP (NE&W) INV.=1181.97  
BOT.=1181.87

EX. C.B. #2290  
GR=1191.62  
12" CPP (SW) INV.=1187.97  
BOT.=1187.72

EX. C.B. #2660  
GR=1180.94  
6" PVC (NW&SE) INV.=1176.14

EX. STM. MH. #2984  
RIM=1189.51  
36"x60" RCP (NW) INV.=1183.51  
36"x60" RCP (E) INV.=1183.21

EX. SAN. MH. #3305  
RIM=1175.40  
12" DROP (W) INV.=1162.90  
15" (N&S) INV.=1149.30  
15" (W) INV.=1149.35

EX. C.B. #3397  
GR=1185.91  
10" CPP (E) INV.=1182.31  
10" CPP (S) INV.=1182.19  
BOT.=1182.01

EX. C.B. #3800  
GR=1191.95  
4" PVC (NW) INV.=1190.45  
10" CPP (E) INV.=1187.90

EX. C.B. #3801  
GR=1191.68  
10" CPP (W) INV.=1187.18  
12" CPP (NW) INV.=1181.78  
12" CPP (S) INV.=1181.63  
BOT.=1181.48

EX. C.B. #3826  
GR=1191.16  
10" CPP (W) INV.=1186.76  
12" CPP (NW) INV.=1183.46  
12" CPP (S) INV.=1183.16  
BOT.=1183.06

EX. C.B. #3827  
GR=1191.30  
4" PVC (NW) INV.=1190.00  
10" PVC (NW) INV.=1187.20

EX. C.B. #4278  
GR=1187.59  
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6" PVC (S) INV.=1183.29  
6" PVC (N) INV.=1183.24  
10" CPP (W) INV.=1183.24  
BOT.=1183.04

EX. C.B. #4342  
GR=1188.89  
6" PVC (N) INV.=1184.79  
6" PVC (S&E) INV.=1184.69  
6" PVC (N) INV.=1184.64

EX. SAN. MH. #4888  
RIM=1192.82  
6" PVC (W) INV.=1188.72  
6" PVC (N) INV.=1187.07

EX. SAN. MH. #4890  
RIM=1193.02  
6" PVC (SW) INV.=1186.62  
6" PVC (S) INV.=1184.62  
10" PVC (N) INV.=1184.42

EX. STM. MH. #4891  
RIM=1192.64  
6" PVC (SW) INV.=1188.34  
8" PVC (NW) INV.=1187.94  
12" CPP (NE) INV.=1187.84

EX. C.B. #5157  
GR=1178.93  
(NO DATA)

EX. OUTLET CONTROL #5346  
GR=1174.04  
2" PVC (W) INV.=1172.88  
15" CPP (E) INV.=1172.81

EX. OUTLET CONTROL #5487  
GR=1175.92  
4" PVC (W) INV.=1174.61  
12" CPP (E) INV.=1174.27

EX. STM. MH. #5528  
RIM=1189.37  
12" PVC (SW) INV.=1185.87  
12" PVC (SE) INV.=1178.17

EX. SAN. MH. #5529 RIM=1191.11  
10" PVC (S) INV.=1179.91  
10" PVC (NE) INV.=1179.86

EX. SAN. MH. #5530 RIM=1186.68  
10" PVC (SW) INV.=1172.18  
10" PVC (NE) INV.=1172.08

EX. STM. MH. #5553  
GR=1179.24  
48" CPP (SE& SW) INV.=1166.94

EX. C.B. #15174  
GR=1168.28  
12" PVC (NE) INV.=1163.03  
10" CPP (W) INV.=1162.98  
15" CPP (NW) INV.=1162.98  
15" CPP (S) INV.=1162.48

EX. C.B. #15260  
GR=1168.51  
10" CPP (W) INV.=1164.01  
15" CPP (S) INV.=1163.86  
BOT.=1163.81

EX. C.B. #15362  
GR=1171.86  
6" PVC TD (SE) INV.=1169.51  
10" CPP (W) INV.=1168.26  
6" PVC (N) INV.=1165.71  
BOT.=1163.86

EX. C.B. #15301  
GR=1172.55  
8" PVC (W) INV.=1170.70  
10" CPP (E) INV.=1168.70  
BOT.=1168.55

EX. C.B. #15333  
GR=1177.23  
12" CPP (NE) INV.=1172.48  
12" CPP (NW) INV.=1170.13  
BOT.=1168.78

EX. C.B. #15580  
GR=1181.21  
12" PVC (NE) INV.=1176.91  
15" PVC (SE) INV.=1176.86  
BOT.=1176.71

EX. C.B. #15581  
GR=1181.08  
12" CPP (NE) INV.=1177.33  
8" PVC (SW) INV.=1175.83  
BOT.=1176.88

EX. C.B. #15632  
GR=1178.91  
10" CPP (S) INV.=1175.21  
BOT.=1175.16

EX. C.B. #15638  
GR=1178.97  
10" CPP (NE) INV.=1175.02  
15" CPP (NW) INV.=1174.67  
15" CPP (SW) INV.=1174.52

EX. C.B. #15803  
GR=1177.25  
12" CPP (E) INV.=1173.25  
12" CPP (SW) INV.=1173.15  
BOT.=1172.95

EX. C.B. #15812  
GR=1177.86  
12" CPP (SE) INV.=1173.96  
12" CPP (W) INV.=1173.61  
BOT.=1173.56

EX. C.B. #15829  
GR=1177.64  
12" CPP (NE) INV.=1174.19  
12" CPP (NW) INV.=1174.04  
BOT.=1174.04

EX. C.B. #16050  
GR=1177.23  
6" PVC (NW&E) INV.=1173.13  
12" CPP (SW) INV.=1171.63

EX. C.B. #16055  
GR=1177.16  
6" PVC (NE) INV.=1174.16  
6" CPP (SW) INV.=1173.46  
BOT.=1172.96

EX. C.B. #16175  
GR=1179.00  
6" PVC (NW) INV.=1174.95  
6" PVC (SE) INV.=1174.88  
BOT.=1174.70

EX. C.B. #16175  
GR=1179.00  
6" PVC (NW) INV.=1174.90  
6" PVC (SE) INV.=1174.85

EX. C.B. #16195  
GR=1182.36  
4" PVC UD (NE) INV.=1180.96  
12" CPP (SE) INV.=1178.81  
BOT.=1178.61

EX. C.B. #16198  
GR=1182.46  
4" PVC UD (NE) INV.=1181.01  
12" CPP (NW) INV.=1178.56  
12" CPP (NE) INV.=1178.41  
12" CPP (SW) INV.=1178.36  
BOT.=1178.21

EX. C.B. #16220  
GR=1186.92  
4" PVC UD (NE) INV.=1185.42  
10" CPP (SW) INV.=1183.07  
BOT.=1182.92

EX. C.B. #16221  
GR=1186.89  
6" PVC UD (NE) INV.=1184.99  
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BOT.=1182.84

EX. C.B. #16672  
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12" CPP (N) INV.=1176.99  
12" CPP (S) INV.=1176.94  
BOT.=1176.84

EX. C.B. #16673  
GR=1182.71  
10" CPP (E) INV.=1178.91  
BOT.=1178.71

EX. SAN. MH. #16685  
RIM=1182.38  
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EX. C.B. #16707  
GR=1182.34  
12" CPP (W&S) INV.=1178.24  
BOT. INV.=1178.24

EX. SAN. MH. #16730  
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12" PVC (E) INV.=1163.24

EX. STM. MH. #17250  
RIM=1186.69  
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BOT.=1180.69

EX. C.B. #17267  
GR=1182.43  
12" CPP (E) INV.=1178.43  
BOT.=1178.43

EX. STM. MH. #17312  
RIM=1189.38  
4" STL (NW) INV.=1185.18  
10" CPP (SE) INV.=1183.78

EX. C.B. #17586  
GR=1172.39  
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24" CPP (SW) INV.=1167.19  
BOT.=1166.99

EX. SAN. MH. #17587  
RIM=1172.61  
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12" PVC (NW) INV.=1166.46  
12" PVC (SE) INV.=1166.21

EX. C.B. #17588  
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6" PVC (SW) INV.=1168.36  
24" CPP (NE) INV.=1168.36  
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EX. SAN. MH. #17795  
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EX. SAN. MH. #17796  
RIM=1172.84  
NO DATA

EX. C.B. #17835  
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EX. C.B. #17904  
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EX. C.B. #18363  
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6" PVC (N) INV.=1185.29

EX. C.B. #18416  
GR=1189.16  
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EX. C.B. #18436  
GR=1189.81  
6" PVC (W) INV.=1185.61  
12" RCP (S&E) INV.=1184.91  
15" RCP (N) INV.=1184.81

EX. C.B. #18735  
GR=1189.15  
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10" CPP (S) INV.=1184.55

EX. C.B. #19143  
GR=1190.21  
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6" PVC (N) INV.=1186.28  
6" PVC (S&W) INV.=1186.26  
BOT.=1186.01

EX. C.B. #19272  
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4" PVC (E) INV.=1185.81  
12" RCP (W) INV.=1188.51

EX. C.B. #20505  
GR=1178.94  
6" PVC (N) INV.=1178.23  
6" PVC (S) INV.=1178.21

EX. SAN. DROP MH. #21039  
RIM=1181.28  
10" PVC (SW) INV.=1163.28  
(UPPER)  
10" PVC (SW) INV.=1155.28  
(LOWER)  
10" RCP (NW) INV.=1154.58  
10" RCP (SE) INV.=1154.48

EX. C.B. #22001  
GR=1192.82  
12" PVC (N) INV.=1182.67

EX. STM. MH. #22002  
RIM=1192.82  
12" PVC (N) INV.=1182.67  
18" CPP (SE) INV.=1181.92  
18" PVC (SW) INV.=1181.87  
BOT.=1180.57

HKS

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CLEVELAND, OH 44100

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107 GRAND STREET, 6TH FLOOR  
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MEP ENGINEER  
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1100 SUPERIOR AVE  
SUITE 300  
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LANDSCAPE ARCHITECT  
AECOM

1300 EAST 9TH STREET  
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CLEVELAND, OH 44144

CIVIL ENGINEERING  
OSBORN ENGINEERING  
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SUITE 300  
CLEVELAND, OH 44114

STRUCTURAL ENGINEERING  
BARBER & HOFFMAN ENGINEERING  
221 EAST 9TH STREET  
SUITE 300  
CLEVELAND, OH 44115

LOW VOLTAGE  
ROSS & BARUZZINI / ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

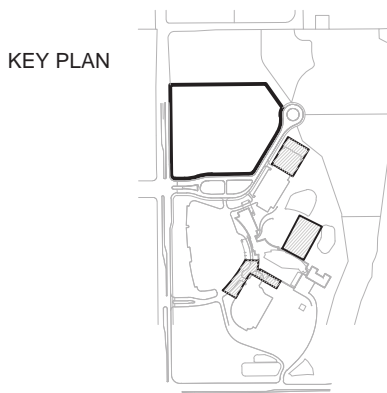
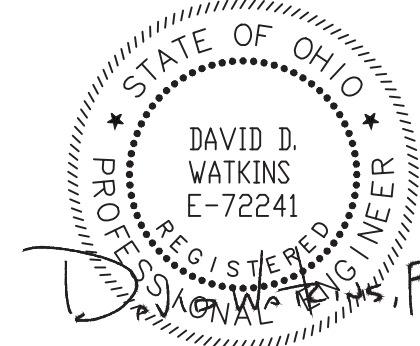
AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS



University  
Hospitals

HELI-PAD CONSULTANT  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45223

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



REVISION NO.	DESCRIPTION	DATE
1	PERMIT	3 / 30 / 2020
2	P & Z / ARB	3 / 30 / 2020

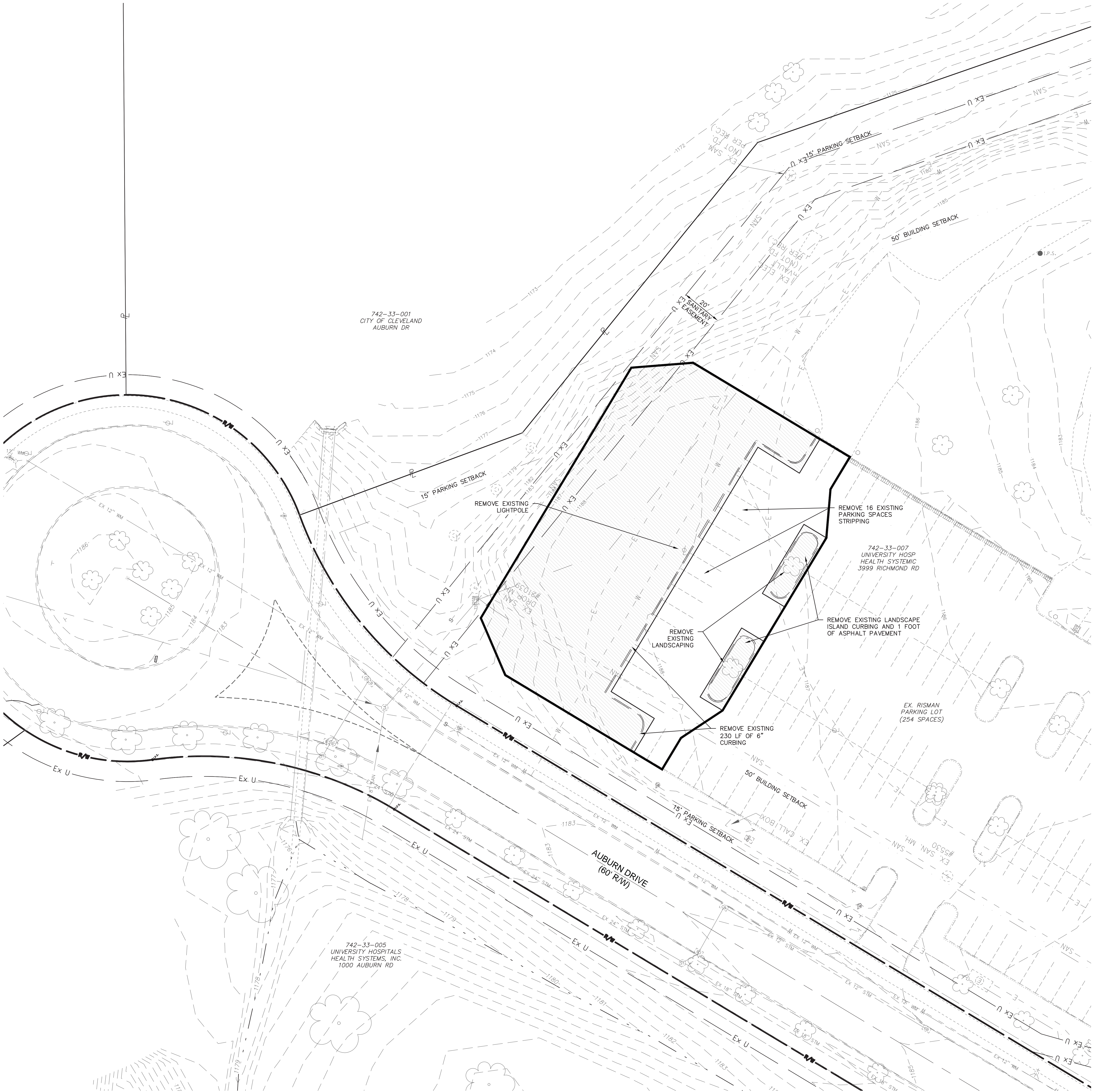
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21551.000  
DATE  
3/30/2020  
ISSUE  
PERMIT

SHEET TITLE  
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TABLE

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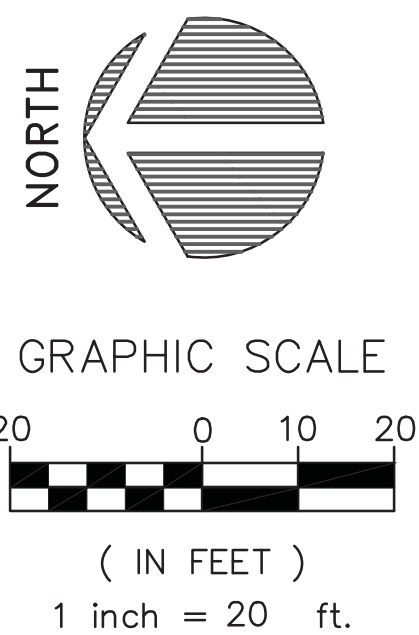
C1.01

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Sasank, Choudhary



EX  
PR  
€  
PERF.  
R/W  
BLDG  
BM  
LF  
EOP  
PVM  
CONC  
BC  
(TYP)  
C/O

EXISTING  
PROPOSED  
CENTER LINE  
PERFORATED  
RIGHT OF WAY  
BUILDING  
BENCHMARK  
LINEAR FEET  
EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



DEMOLITION LEGEND

- [Hatched Box] REMOVE ALL ASPHALT & CONCRETE PAVEMENT & BASE MATERIAL, TREES, FENCING, SIDEWALKS, RAMPS, AND GRAVEL AREAS.
- [Solid Line] PROJECT LIMITS OF SITE DEMOLITION
- [XXXXXX] REMOVE EXISTING UTILITY

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.
- THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
- UPON DISCOVERY OF UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS OR CONTAMINATED SOILS SHALL OCCUR UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.
- ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE IS FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- ALL EARTHWORK, SUBGRADE PREPARATION, & BACKFILL REQUIREMENTS SHALL BE PER THE LATEST ODOT STANDARD DETAILS AND SPECIFICATIONS.
- DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION UNLESS DIRECTED OTHERWISE.
- THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
- EXISTING ABANDONED UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED IF POSSIBLE. IF SUCH UTILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED OR ABANDONED IN PLACE. IF ABANDONED IN PLACE, IT IS RECOMMENDED THAT THE UTILITIES PIPE BE FILLED WITH LOW STRENGTH MORTAR GROUT TO AVOID POTENTIAL COLLAPSE IN THE FUTURE. SHOULD THE UTILITIES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS SHOULD BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE LATEST ODOT STANDARD DETAILS AND SPECIFICATIONS.
- ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC, OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- THE DEMOLITION PLAN IS INDENTED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREON. (THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.)
- ALL EXISTING CONDITIONS WITHIN THE RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY RESTORED TO THE PRE-CONSTRUCTION CONDITION OR BETTER.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES.
- ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVES, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT-OF-WAY OR ON ADJACENT PROPERTIES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR.
- WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAW CUT FULL DEPTH IN NEAT, STRAIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST JOINT.
- ALL PAVEMENT AND/OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE PROPERLY.
- EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.



**HKS**

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BARBER & HOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 350  
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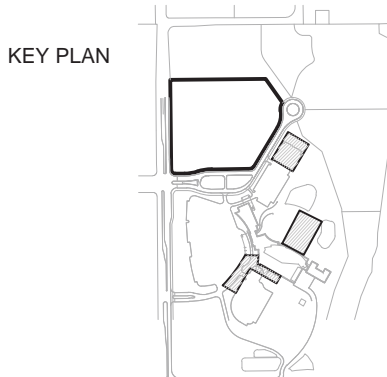
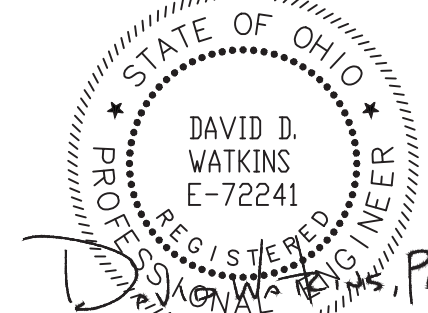
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ROSS & BARUZZINI / ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**



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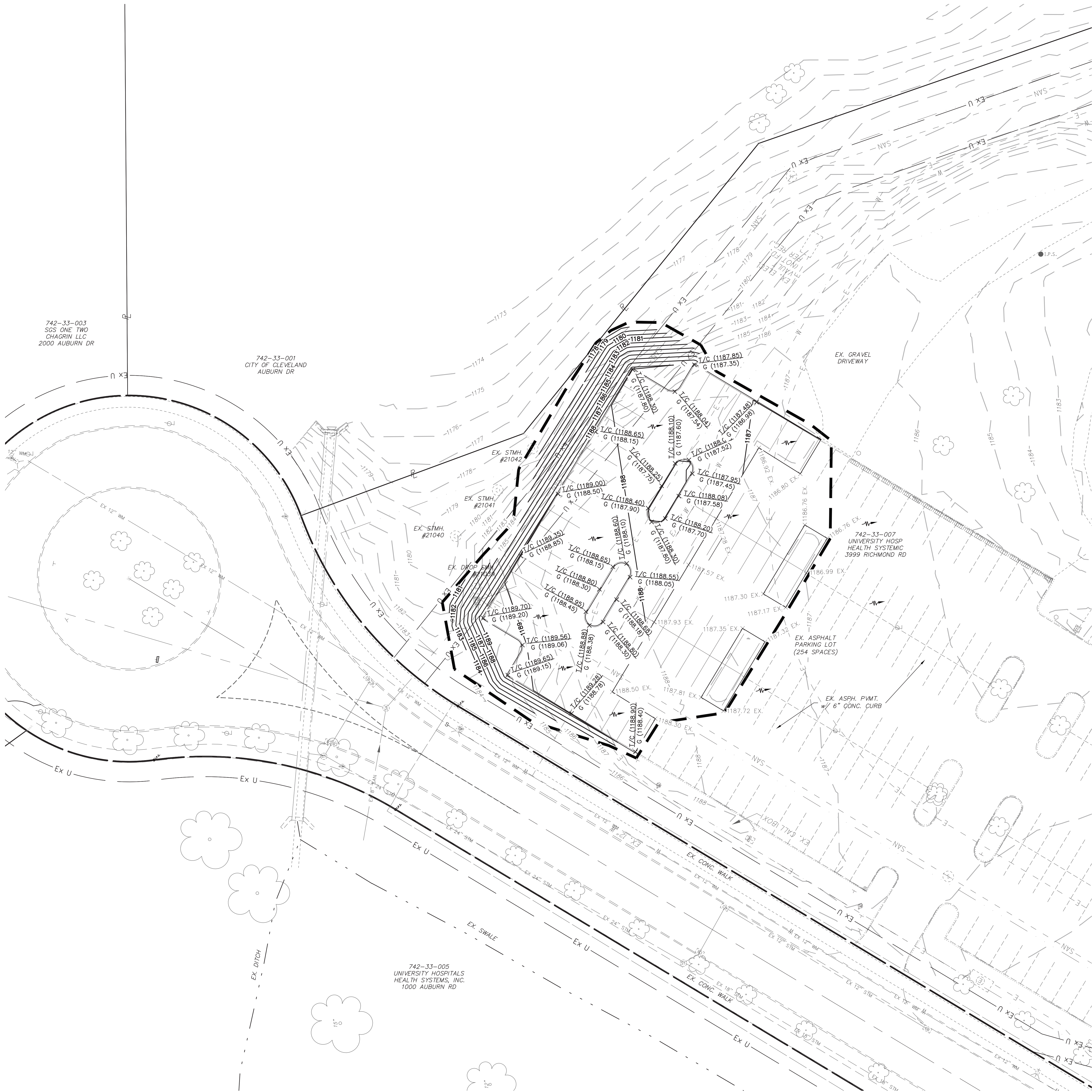
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RISMAN LOT EXISTING  
CONDITIONS &  
DEMOLITION PLAN

SHEET NO.

**C2.00**

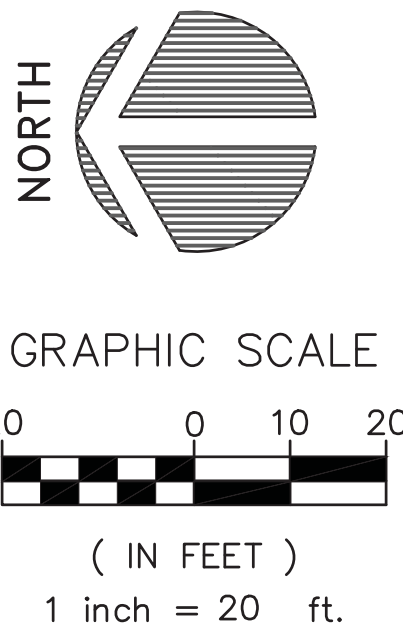


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PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



GRADING NOTES:

1. ALL DIMENSIONS TO THE FACE OF CURB, FACE OF BUILDING, & FACE OF WALL UNLESS OTHERWISE STATED.
2. ALL PAVEMENT AND SITE WORK SHALL CONFORM THE LATEST CITY STANDARD DETAILS AND SPECIFICATIONS.
3. FOR BUILDING DIMENSIONS & DETAILS SEE ARCHITECTURAL PLANS.
4. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY COMMENCES.
5. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS.
6. ANY GRADING OF DISTURBED AREAS SHALL BE SEEDED PER SEEDING NOTES, UNLESS OTHERWISE NOTED.
7. ALL EARTHWORK, SUBGRADE PREPARATION, & BACKFILL REQUIREMENTS SHALL BE PER THE LATEST CITY STANDARD DETAILS AND SPECIFICATIONS.
8. NO ASPHALT OR CONCRETE PAVING SHALL BE INSTALLED UNTIL ALL UTILITIES IN, OR CROSSING, PAVED AREAS HAVE BEEN INSTALLED AND THE BASE COURSE IS APPROVED.
9. GRADES SHOWN ARE FINISHED GRADES. FOR SUBGRADE ELEVATIONS, SEE PAVING SECTIONS AND DETAILS.
10. CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ALL DIRECTIONS WITHIN HANDICAP ACCESSIBLE PARKING SPACES.

PR. LEGEND

- 1040.00  
1039.55  
1043.25  
1043.25 FF  
1043.25 EF  
1043.25 F/WALL
- PR. TOP OF CURB EL.  
PR. GUTTER EL.  
PR. FIN. GRADE EL.  
PR. FIN. FLOOR EL.  
PR. EDGE OF PAVEMENT  
PR. FACE OF WALL
- EX. CONTOUR MAJOR  
EX. CONTOUR  
PR. CONTOUR MAJOR  
PR. CONTOUR  
LIMITS OF GRADING
- GRADE BREAK  
PROPOSED FLOWLINE OF SWALE  
PROPOSED RUNOFF DIRECTION

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AECOM

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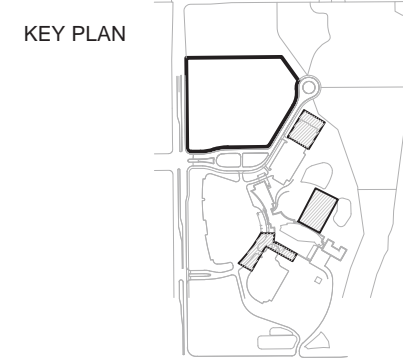
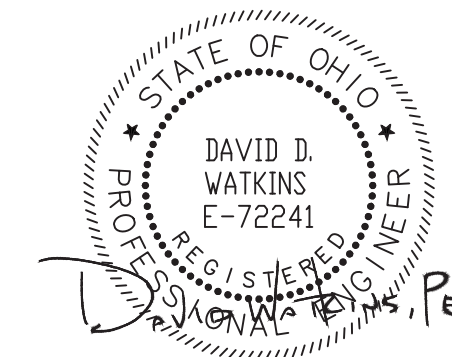
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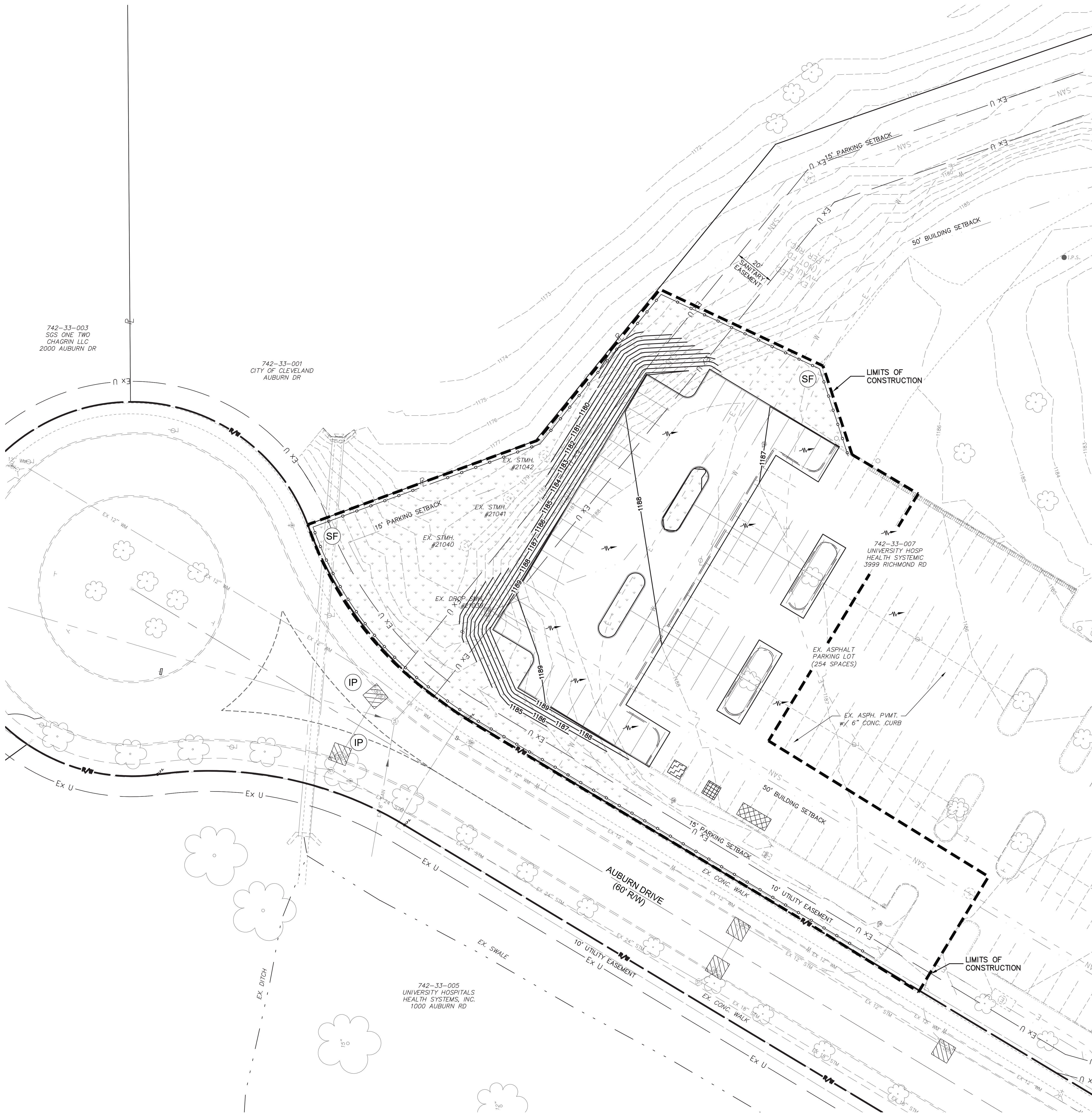
SHEET TITLE  
RISMAN LOT  
GRADING  
PLAN

SHEET NO.



Page 66 of 103

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2000 AUBURN DR

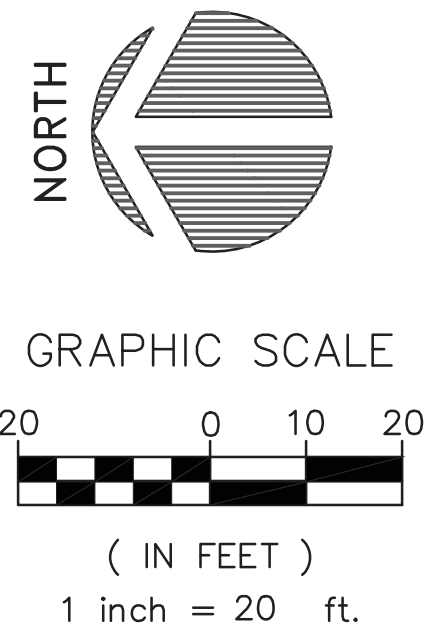
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CITY OF CLEVELAND  
AUBURN DR

742-33-005  
UNIVERSITY HOSPITALS  
HEALTH SYSTEMS, INC.  
1000 AUBURN DR

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HEALTH SYSTEMIC  
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PERFORATED  
RIGHT OF WAY  
BUILDING  
BENCHMARK  
LINEAR FEET  
EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



**LEGEND**

(IP)	INLET PROTECTION ON ALL EXISTING & PROPOSED STORM SEWER INLETS & BASINS	(SF)	SILT FENCE AND CONSTRUCTION FENCE	(Cross-hatch)	AREA FOR STORAGE, DISPOSAL, DUMPSTERS, AND/OR FUELING
(PS)	AREA OF PERMANENT SEEDING (SEE LANDSCAPE PLAN)	(Grid)	CONCRETE WASHOUT FACILITY	(Wavy lines)	TRUCK WASHING AREA
(Dashed line)	PROJECT LIMITS OF CONSTRUCTION / DISTURBANCE	(Dashed line)	PROPOSED CONTOUR	(Arrow)	PROPOSED STORMWATER RUNOFF DIRECTION

NOTE:  
12 INCH FILTER SOCKS ARE REQUIRED IF USED IN LIEU OF STANDARD SILT FENCE (PER OHIO RAIN WATER & LAND DEVELOPMENT MANUAL CH. 6.6, PAGE 48).

**GENERAL NOTES**

1. LOCATION OF STAGING AREA, TRUCK WASHING AREA, CONCRETE WASHOUT FACILITY, DUMPSTER AREA, AND FUEL CONTAINMENT DYKE ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATION TO BE DETERMINED BY THE CONTRACTOR.
2. SEE SHEET C2.11 FOR PROPOSED GRADING INFORMATION.



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SUITE 350  
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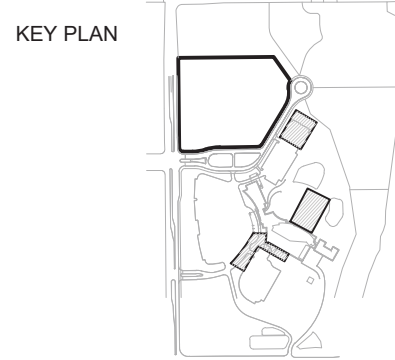
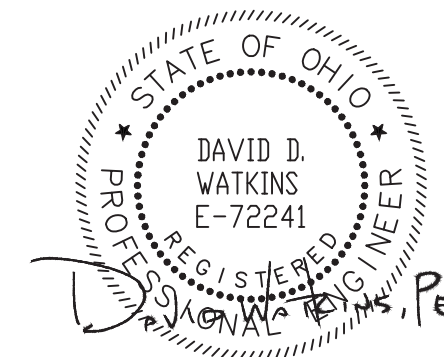
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**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**



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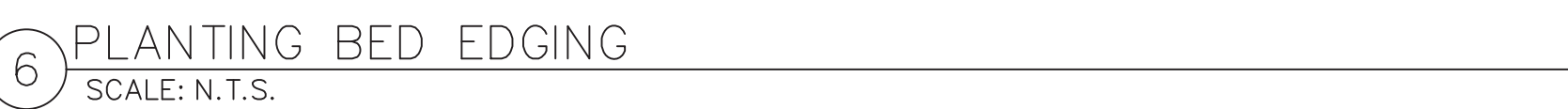
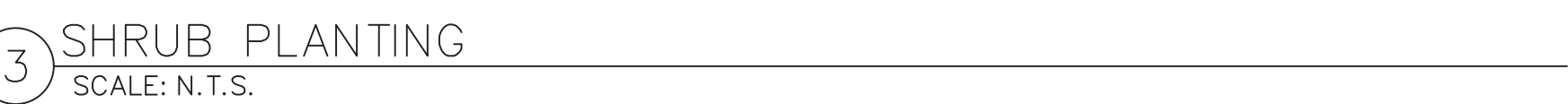
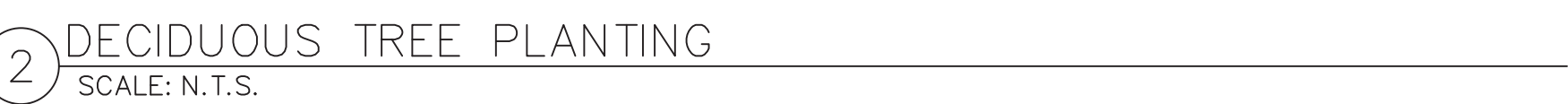
SHEET TITLE  
RISMAN LOT  
EROSION  
PROTECTION PLAN

SHEET NO.



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C2.12



## LANDSCAPE NOTES

1. FOR LAWN SEEDING REFER TO ODOT ITEM 659 SEEDING AND MULCHING SPECIFICATIONS. LAWN SEED TO BE ODOT SEEDING CLASS 1 LAWN MIXTURE OF BLUEGRASS, BLUEGRASS, GREENING, RYE, FESCUE, ANNUAL RYEGRASS, AND PERENNIAL RYEGRASS, TURF TYPE. SEED PERCENTAGES AND SEEDING RATES PER ODOT TEM 659 SEEDING AND MULCHING.
2. MEADOW SEED MIX TO BE SLOPE STABILIZATION MIX FROM CARDNO NATIVE PLANT NURSERY. APPLY AT 59.5 PLS POUNDS PER ACRE. SUPPLEMENT SLOPE STABILIZATION MIX WITH NATIVE WILDFLOWER SEED MIX FROM CARDNO NATIVE PLANT NURSERY. SEED NATIVE WILDFLOWER MIX AT A RATE OF 1/4 ACRE TO 1 ACRE OF SLOPE STABILIZATION MIX.
3. FOR LANDSCAPE PLANTING REFER TO ODOT 660 PLANTING TREES, SHRUBS, PERENNIALS, AND VINES SPECIFICATIONS.
4. PROVIDE 5 FT. DIA. MULCH RING AROUND ALL TREES LOCATED IN LAWN AREAS.
5. GRAVEL EDGING STONE TO MATCH EXISTING GRAVEL IN PARKING LOT TREE ISLANDS. EXISTING GRAVEL HAS GRAY/BEIGE ROUND STONES.

## TREES

QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
2	TT	TILIA TOMENTOSA "STERLING"	STERLING SILVER LINDEN	3" CAL.	B&B	SPACING AS PER PLAN
2	QR	QUERCUS RUBRA	RED OAK	3" CAL.	B&B	SPACING AS PER PLAN

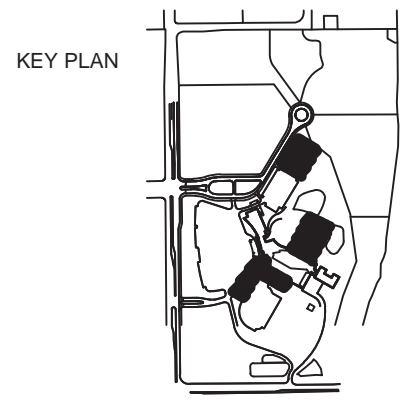
QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
6	RA	RHUS AROMATIC 'GRO-LOW'	GRO-LOW SUMAC	18" HT.	NO. 3 CONT.	SPACING AS PER PLAN



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Hospitals

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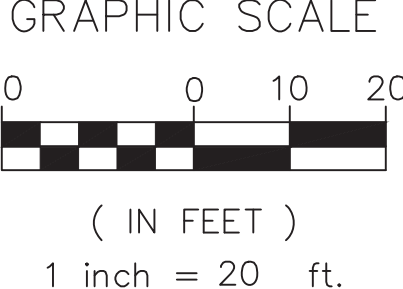
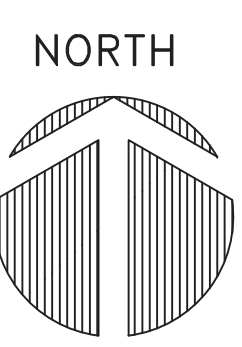
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RISMAN LOT  
LANDSCAPE  
PLAN

SHEET NO.

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CLEANOUT

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GRAPHIC SCALE

20 0 10 20  
( IN FEET )  
1 inch = 20 ft.

**DEMOLITION LEGEND**

REMOVE ALL ASPHALT & CONCRETE PAVEMENT & BASE MATERIAL, TREES, FENCING, SIDEWALKS, RAMPS, AND GRAVEL AREAS.

PROJECT LIMITS OF SITE DEMOLITION

REMOVE EXISTING UTILITY

- DEMOLITION NOTES:**
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.
  - THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
  - UPON DISCOVERY OF UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS OR CONTAMINATED SOILS SHALL OCCUR UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.
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  - ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC, OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
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  - ALL EXISTING CONDITIONS WITHIN THE RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY RESTORED TO THE PRE-CONSTRUCTION CONDITION OR BETTER.
  - THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES.
  - ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVES, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT-OF-WAY OR ON ADJACENT PROPERTIES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR.
  - WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAW CUT FULL DEPTH IN NEAT, STRAIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST JOINT.
  - ALL PAVEMENT AND/OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE PROPERLY.
  - EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
  - THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.

**HKS**

OWNER  
UNIVERSITY HOSPITALS  
11100 EUCLOUD AVE  
CLEVELAND, OH 44100

ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

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OSBORN ENGINEERING  
1100 SUPERIOR AVE  
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AECOM  
1300 EAST 9TH STREET  
SUITE 500  
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SUITE 300  
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2217 EAST 9TH STREET  
SUITE 350  
CLEVELAND, OH 44115

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ROSS & BARUZZINI / EDI  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**

UNIVERSITY HOSPITALS

HELI-PAD CONSULTANT  
FEC HELIPORTS  
5286 RIVER RD.  
CINCINNATI, OH 45223

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OH 44113

STATE OF OHIO  
REGISTERED PROFESSIONAL ENGINEER  
DAVID D. WATKINS  
E-72241

KEY PLAN

REVISION NO.	DESCRIPTION	DATE
1	PERMIT	03/30/2020
2	P & 2 / ARB	03/30/2020

HKS PROJECT NUMBER  
21551.000

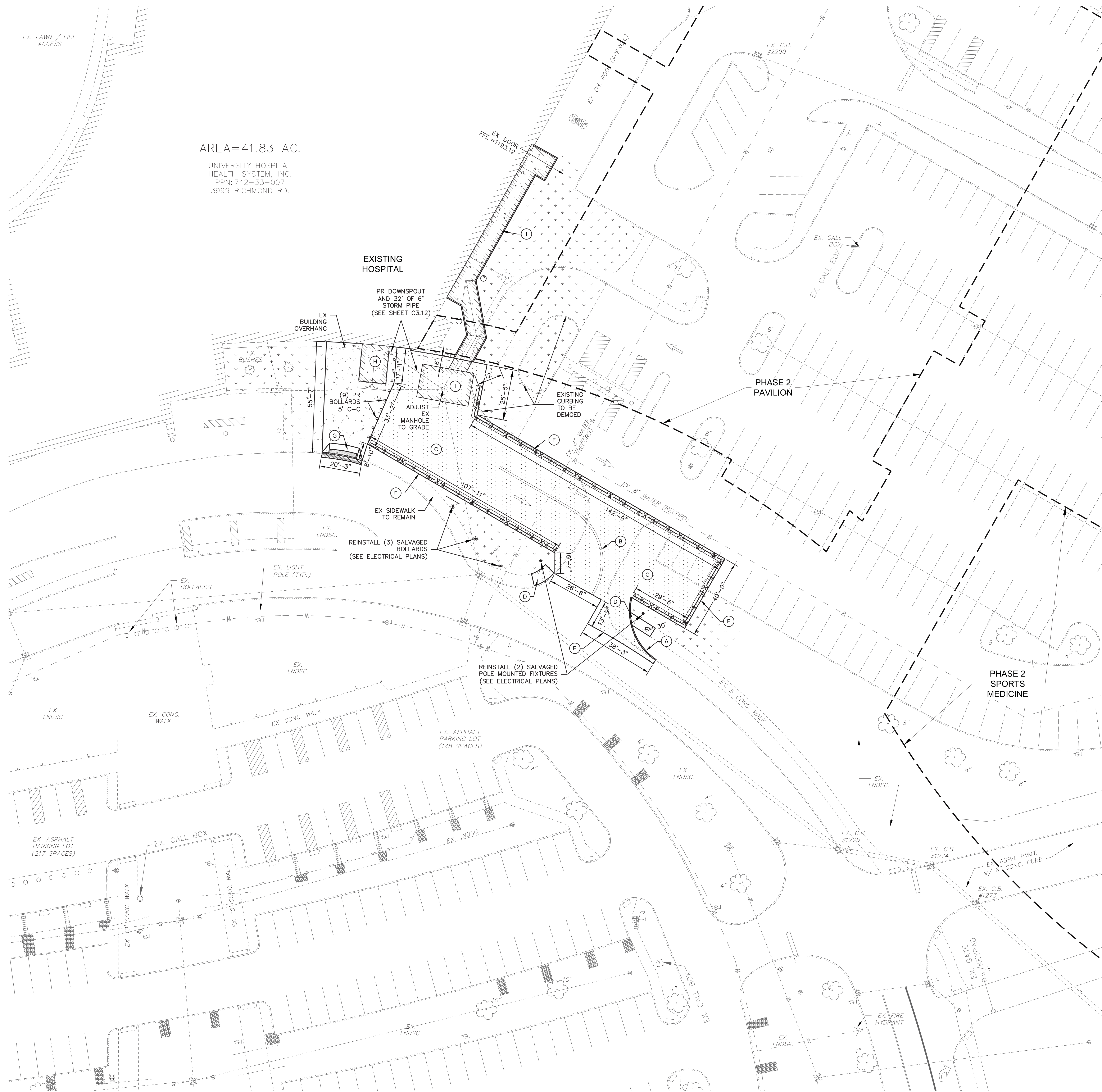
DATE  
03/30/2020

ISSUE  
PERMIT

SHEET TITLE  
ED ENTRANCE  
EXISTING  
CONDITIONS &  
DEMOLITION PLAN  
SHEET NO.

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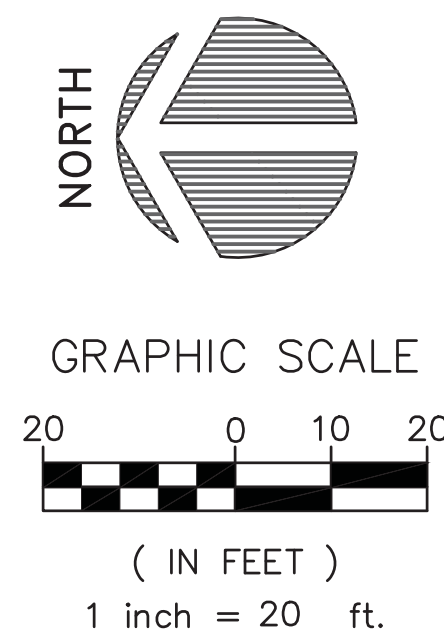
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AREA=41.83 AC.  
UNIVERSITY HOSPITAL  
HEALTH SYSTEM, INC.  
PPN: 742-33-007  
3999 RICHMOND RD.

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(TYP)  
C/O

EXISTING  
PROPOSED  
CENTER LINE  
PERFORATED  
RIGHT OF WAY  
BUILDING  
BENCHMARK  
LINEAR FEET  
EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



#### SITE LEGEND

- TEMPORARY ASPHALT PAVEMENT  
SEE DETAIL SHEET C7.00
- PROPOSED TEMPORARY CONCRETE  
SEE DETAIL SHEET C7.00
- PROPOSED LANDSCAPE AREA  
SEE LANDSCAPE ARCHITECT SHEETS

#### SITE NOTES

- ALL SITE IMPROVEMENTS SHALL COMPLY WITH THE 2010 ADAAG: AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION ACTIVITIES IN ORDER TO PROVIDE ACCESS TO ALL SURROUNDING BUILDINGS ENTRANCE AND TRUCK DOCKS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OR COUNTY, BEFORE PERFORMING ANY WORK.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND TOPOGRAPHY TO ENSURE PROPOSED SLOPES AND ELEVATIONS COMPLY WITH ADA STANDARDS. ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON THESE PLANS AND WHAT IS FOUND IN THE FIELD SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- RECONNECT ALL DISTURBED UTILITIES, PIPES, DRAIN TILES, ETC. THAT ARE NOT DESIGNATED FOR RELOCATION.
- HAUL IN ADDITIONAL, OR HAUL AWAY EXCESS MATERIAL AS REQUIRED & DISPOSE OF ALL SPOILS AT NO EXTRA TO THE CONTRACT.
- SAVE AND PROTECT TREES & LANDSCAPING THAT ARE NOT DESIGNATED FOR REMOVAL.
- ADA ACCESSIBLE RAMPS ARE TO BE 2% MAX. CROSS SLOPE AND 8.33% MAX. RUNNING SLOPE.
- ADA ACCESSIBLE LANDINGS ARE TO BE 2% MAX CROSS AND RUNNING SLOPE.
- INSTALL SEEDING AND MULCHING REQUIRED TO RESTORE ALL DISTURBED AREAS AS A RESULT OF CONTRACTOR OPERATIONS. THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED GRASS AREAS. SEEDING TO BE PERFORMED BETWEEN APRIL 1ST AND SEPTEMBER 30TH
- ALL GRADES ARE FINISH PAVEMENT GRADES AND DIMENSIONS ARE MEASURED FROM FACE OF CURB, UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING TO BE SEALED WITH HOT APPLIED JOINT SEALER. (TYP)
- CONTRACTOR TO RELOCATE ANY DISTURBED EXISTING LANDSCAPING IRRIGATION LINES IF ENCOUNTERED.
- CONTRACTOR TO MATCH EXISTING CURB SHAPE (FILLET, CHAMFER, ETC).
- ALL PROPOSED PAVEMENT MARKINGS TO BE 4" IN WIDTH AND YELLOW IN COLOR, UNLESS OTHERWISE NOTED.

#### CODED NOTES

- (A) CONCRETE CURB (6" CURB) TYPE 6  
SEE DETAIL SHEET C7.02 FOR DETAIL
- (B) STANDARD PAVEMENT MARKING  
SEE DETAIL SHEET C7.03 FOR DETAIL
- (C) TEMPORARY PAVEMENT  
FOR AMBULATORY ACCESS.
- (D) CONCRETE WALK  
SEE DETAIL SHEET C7.00 FOR DETAIL.
- (E) WIDEN EXISTING DRIVEWAY APRON.
- (F) CONCRETE JERSEY BARRIER W/ 6'  
BLACK VINYL CONSTRUCTION FENCE.
- (G) NEW ADA DROP OFF.  
SEE DETAIL SHEET C7.00 FOR DETAIL
- (H) TEMPORARY VESTIBULE.  
(SEE ARCHITECTURAL PLANS)
- (I) TEMPORARY CANOPY FOR  
AMBULATORY ACCESS  
(SEE ARCHITECTURAL PLANS)

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LANDSCAPE ARCHITECT

AECOM  
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SUITE 500  
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SUITE 350  
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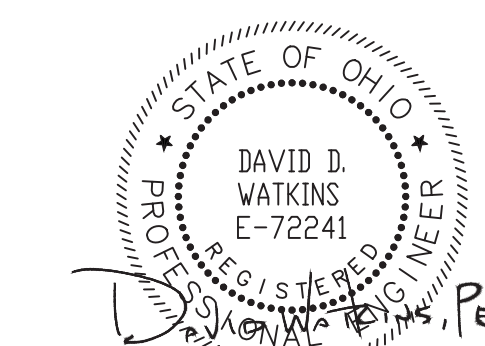
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## AHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS

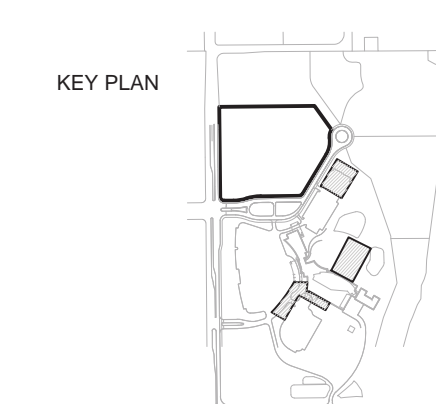


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KEY PLAN



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HKS PROJECT NUMBER  
21551.000

DATE  
03/30/2020

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PERMIT

SHEET TITLE  
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SITE PLAN

SHEET NO.

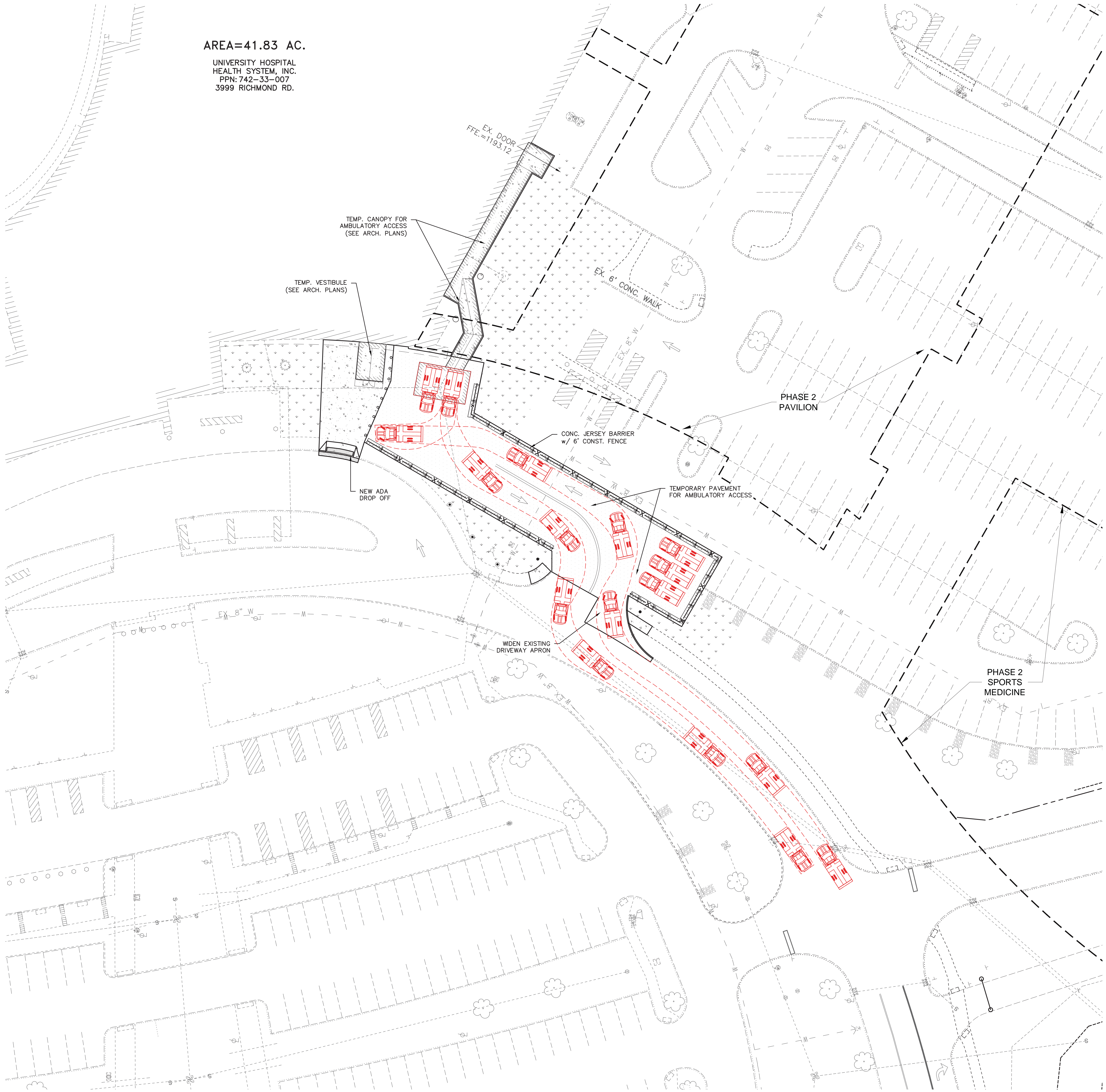


Page 71 of 103

# C3.10

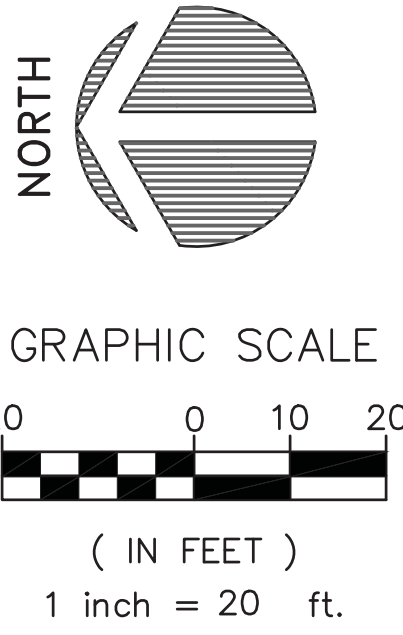
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HEALTH SYSTEM, INC.  
PPN: 742-33-007  
3999 RICHMOND RD.



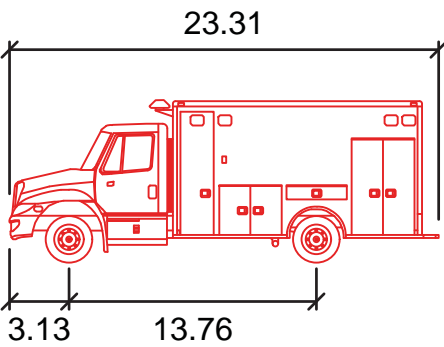
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C/O

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CENTER LINE  
PERFORATED  
RIGHT OF WAY  
BUILDING  
BENCHMARK  
LINEAR FEET  
EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



SITE LEGEND

	TEMPORARY ASPHALT PAVEMENT
	TEMPORARY CONCRETE PAVEMENT
	PROPOSED LANDSCAPE AREA



Medtec PD-146

	feet
Width	: 7.83
Track	: 7.68
Lock to Lock Time	: 6.0
Steering Angle	: 34.3

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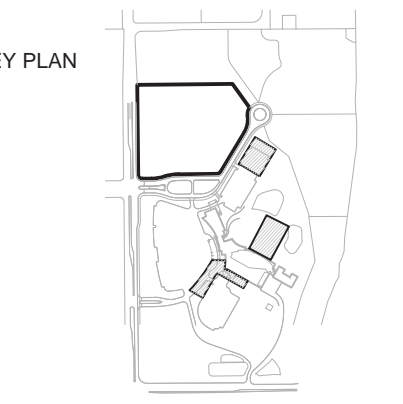
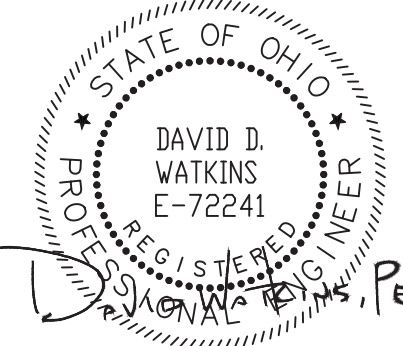
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AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS



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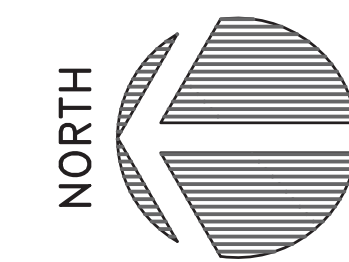
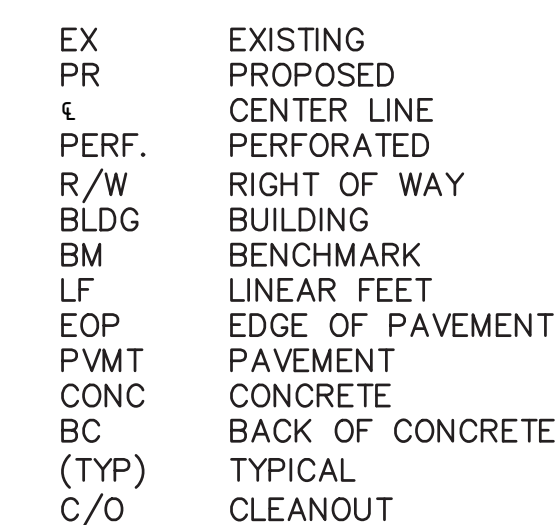
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ED ENTRANCE  
AMBULANCE  
AUTOTURN

SHEET NO.





GRAPHIC SCALE

( IN FEET )  
1 inch = 20 ft.

# HKS

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11100 EUCLID AVE  
CLEVELAND, OH 44100

ARCHITECT  
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CLEVELAND, OH 44115

LOW VOLTAGE  
ROSS & BARUZZINI / ED  
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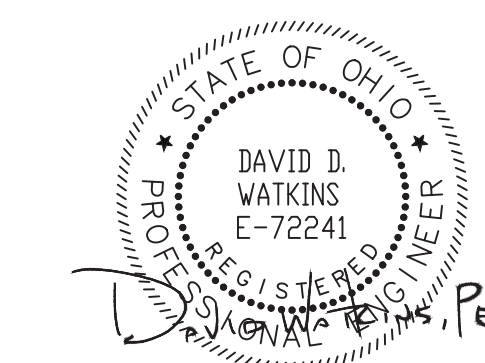
# SAHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS



University  
Hospitals

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GRADING PLAN

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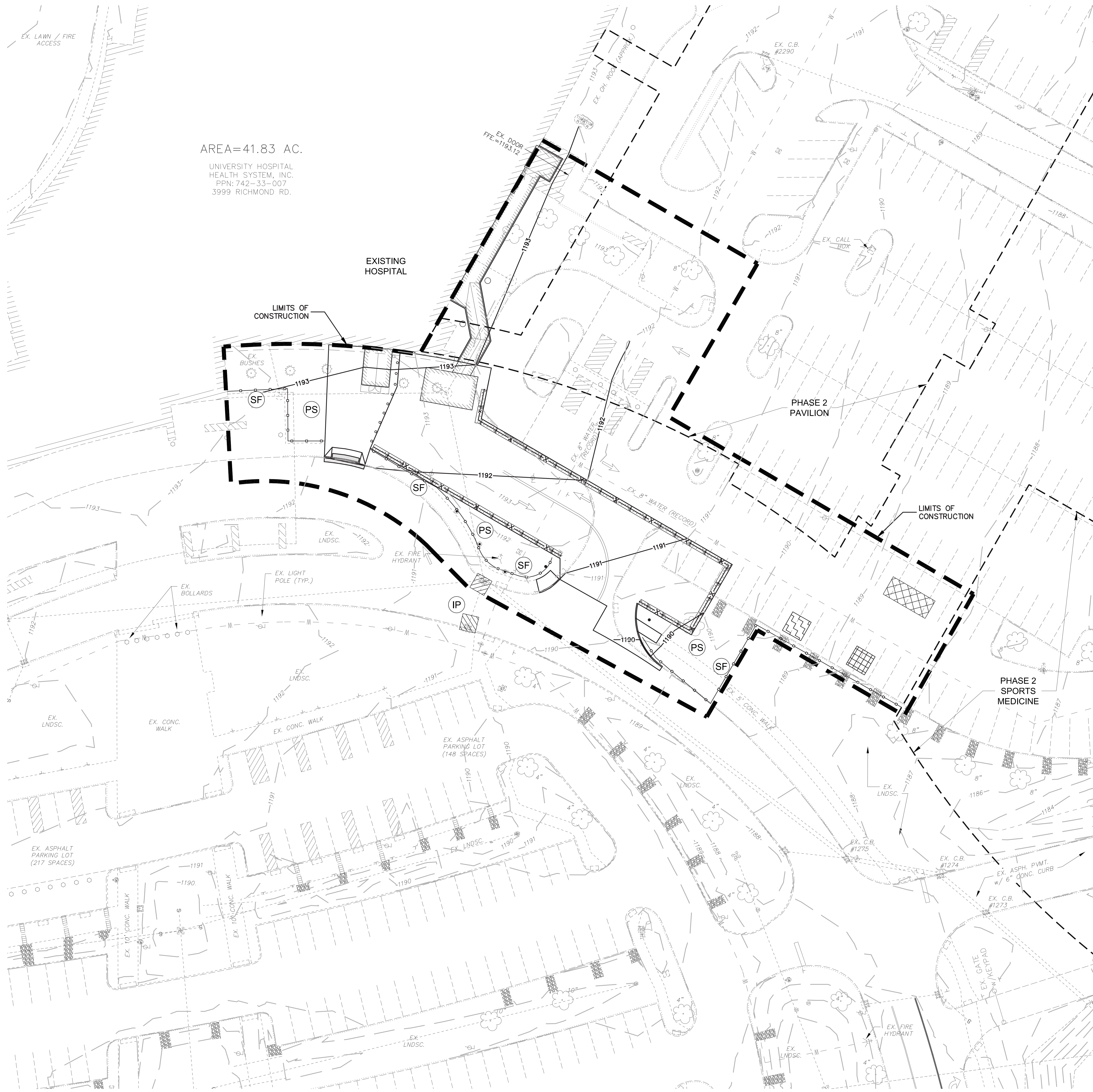


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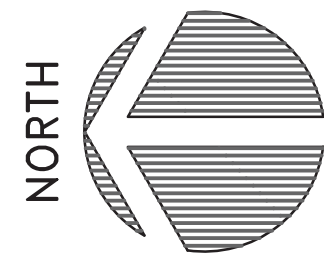
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PROPOSED  
CENTER LINE  
RIGHT OF WAY  
BUILDING  
BENCHMARK  
LINEAR FEET  
EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



GRAPHIC SCALE  
20 0 10 20  
( IN FEET )  
1 inch = 20 ft.

**LEGEND**

	STABILIZED CONSTRUCTION PARKING & ACCESS DRIVEWAY		AREA FOR STORAGE, DISPOSAL, DUMPSTERS, AND/OR FUELING
	INLET PROTECTION ON ALL EXISTING & PROPOSED STORM SEWER INLETS & BASINS		CONCRETE WASHOUT FACILITY
	SILT FENCE AND CONSTRUCTION FENCE		TRUCK WASHING AREA
	AREA OF PERMANENT SEEDING (SEE LANDSCAPE PLAN)		PROJECT LIMITS OF CONSTRUCTION / DISTURBANCE
			PROPOSED CONTOUR
			EXISTING SOIL TYPE
			PROPOSED STORMWATER RUNOFF DIRECTION

NOTE:  
12 INCH FILTER SOCKS ARE REQUIRED IF USED IN  
LIEU OF STANDARD SILT FENCE (PER OHIO RAIN  
WATER & LAND DEVELOPMENT MANUAL CH. 6.6,  
PAGE 48).

**GENERAL NOTES**

1. LOCATION OF STAGING AREA, TRUCK  
WASHING AREA, CONCRETE WASHOUT  
FACILITY, DUMPSTER AREA, AND FUEL  
CONTAINMENT DYKE ARE SHOWN FOR  
REFERENCE ONLY. FINAL LOCATION TO BE  
DETERMINED BY THE CONTRACTOR.
2. SEE SHEET C3.12 FOR PROPOSED GRADING &  
UTILITY INFORMATION.

**HKS**

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AECOM

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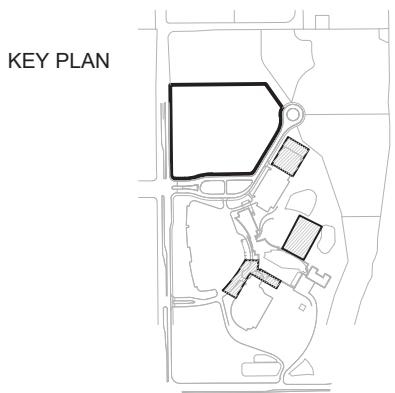
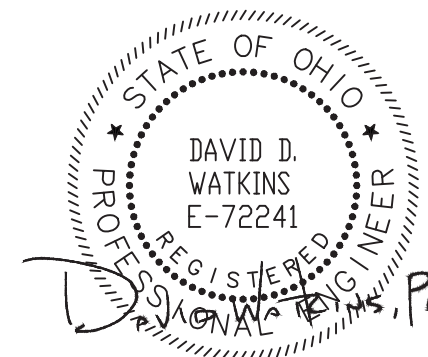
**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**



University  
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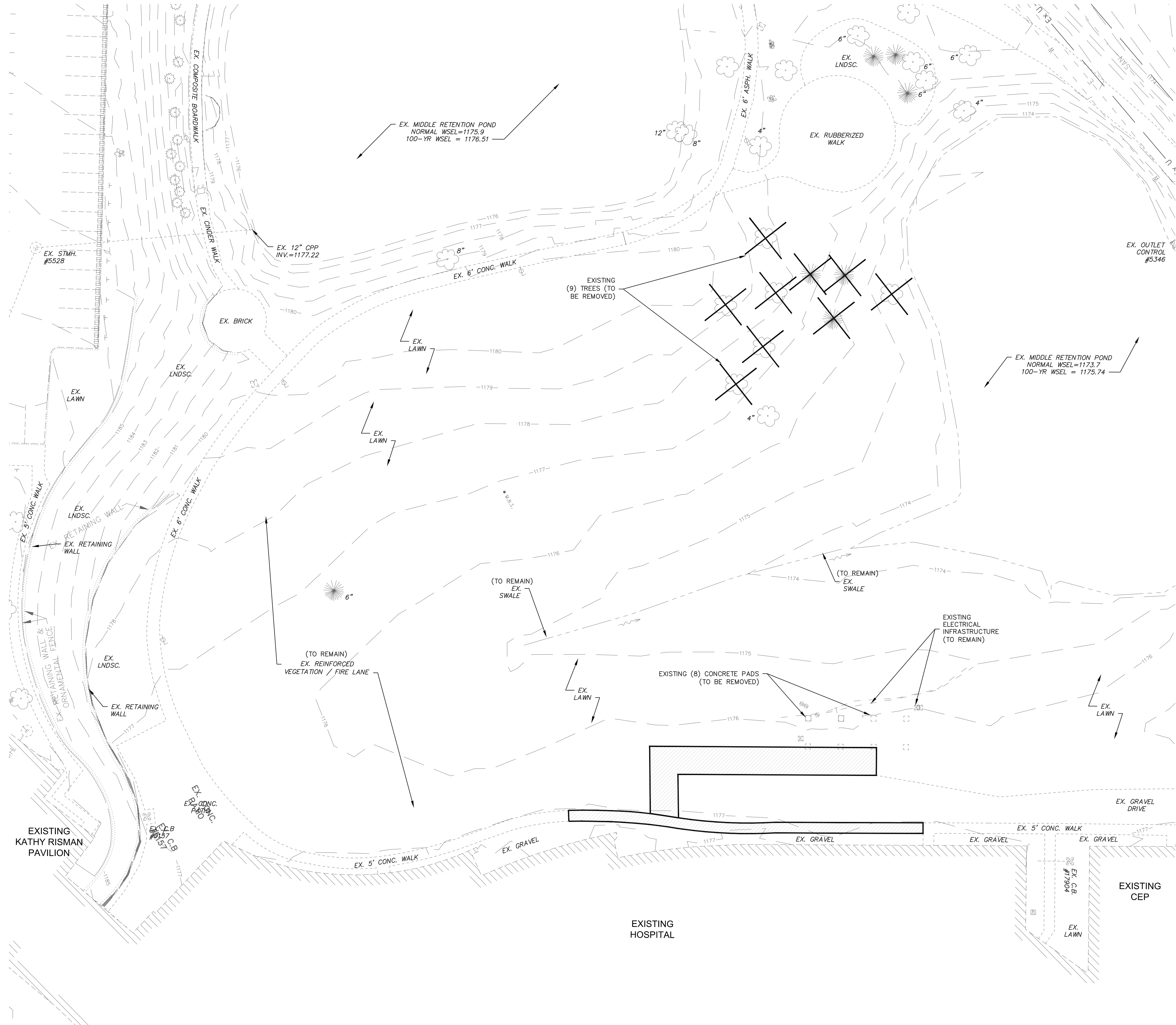
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**C3.13**



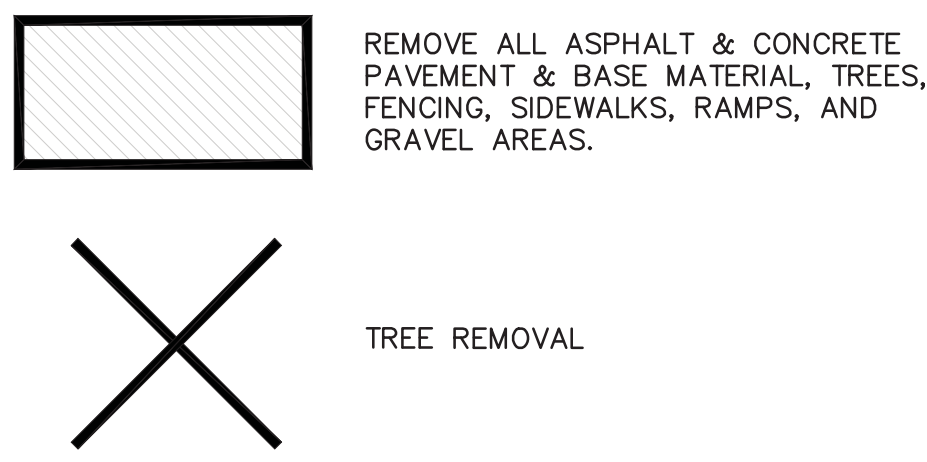
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EXISTING  
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EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



GRAPHIC SCALE  
20 0 10 20  
( IN FEET )  
1 inch = 20 ft.

#### DEMOLITION LEGEND



#### DEMOLITION NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.
- THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
- UPON DISCOVERY OF UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS OR CONTAMINATED SOILS SHALL OCCUR UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.
- ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE IS FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- ALL EARTHWORK, SUBGRADE PREPARATION, & BACKFILL REQUIREMENTS SHALL BE PER THE LATEST ODOT STANDARD DETAILS AND SPECIFICATIONS.
- DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION UNLESS DIRECTED OTHERWISE.
- THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
- EXISTING ABANDONED UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED IF POSSIBLE. IF SUCH UTILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED OR ABANDONED IN PLACE. IF ABANDONED IN PLACE, IT IS RECOMMENDED THAT THE UTILITIES PIPE BE FILLED WITH LOW STRENGTH MORTAR GROUT TO AVOID POTENTIAL COLLAPSE IN THE FUTURE. SHOULD THE UTILITIES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS SHOULD BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE LATEST ODOT STANDARD DETAILS AND SPECIFICATIONS.
- ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC, OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREON. (THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.)
- ALL EXISTING CONDITIONS WITHIN THE RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY RESTORED TO THE PRE-CONSTRUCTION CONDITION OR BETTER.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES.
- ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVES, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT-OF-WAY OR ON ADJACENT PROPERTIES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR.
- WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAW CUT FULL DEPTH IN NEAT, STRAIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST JOINT.
- ALL PAVEMENT AND/OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE PROPERLY.
- EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.

**HKS**

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UNIVERSITY HOSPITALS  
11100 EUCLID AVE  
CLEVELAND, OH 44100

ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
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ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
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MEP ENGINEER  
OSBORN ENGINEERING  
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SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT  
AECOM

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SUITE 500  
CLEVELAND, OH 44144

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BARBER & HOFFMAN ENGINEERING  
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SUITE 350  
CLEVELAND, OH 44115

LOW VOLTAGE  
ROSS & BARUZZINI / EDI  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

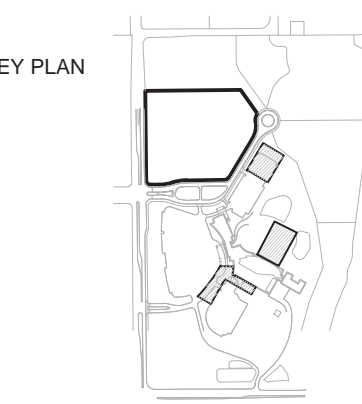
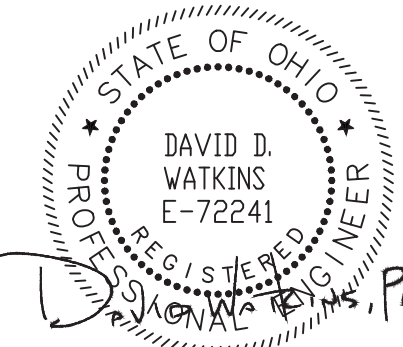
## AHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS



University  
Hospitals

HELI-PAD CONSULTANT  
FEC HELIPOINTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



REVISION NO.	DESCRIPTION	DATE
1	PERMIT	03 / 30 / 2020
2	P & Z / ARB	03 / 30 / 2020

HKS PROJECT NUMBER  
21551.000  
DATE  
03/30/2020  
ISSUE  
PERMIT

SHEET TITLE  
MRI & HELI-PAD  
EXISTING  
CONDITIONS &  
DEMOLITION PLAN  
SHEET NO.

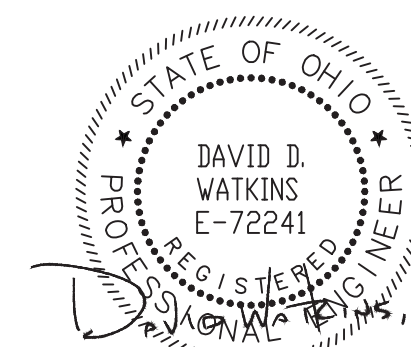


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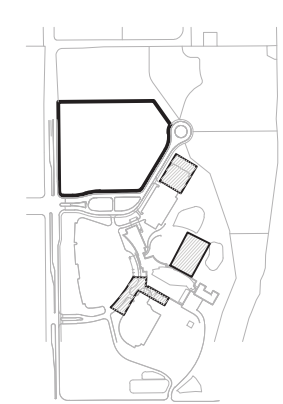
**University  
Hospitals**

**HELI-PAD CONSULTANTS**  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



### KEY PLAN



REVISION NO.	DESCRIPTION	DATE
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2	P & Z / ARB	3 / 30 / 2020

HKS PROJECT NUMBER

21551.000

DATE \_\_\_\_\_

3/30/20.

ISSUE  
PERMIT

SHEET TITLE

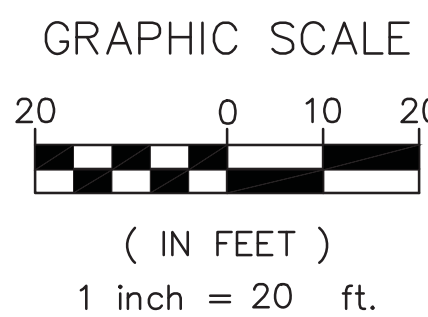
MRI & HELI-PAD  
SITE PLAN

SHEET NC

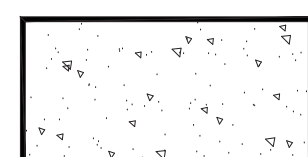
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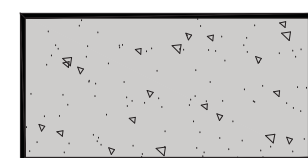
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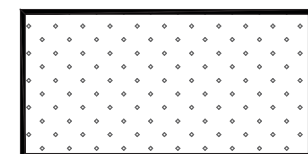
## SITE LEGEND



PROPOSED CONCRETE SIDEWALK  
SEE DETAIL SHEET C7.00



PROPOSED HEAVY-DUTY CONCERTE SIDEWALK  
SEE DETAIL SHEET C7.00

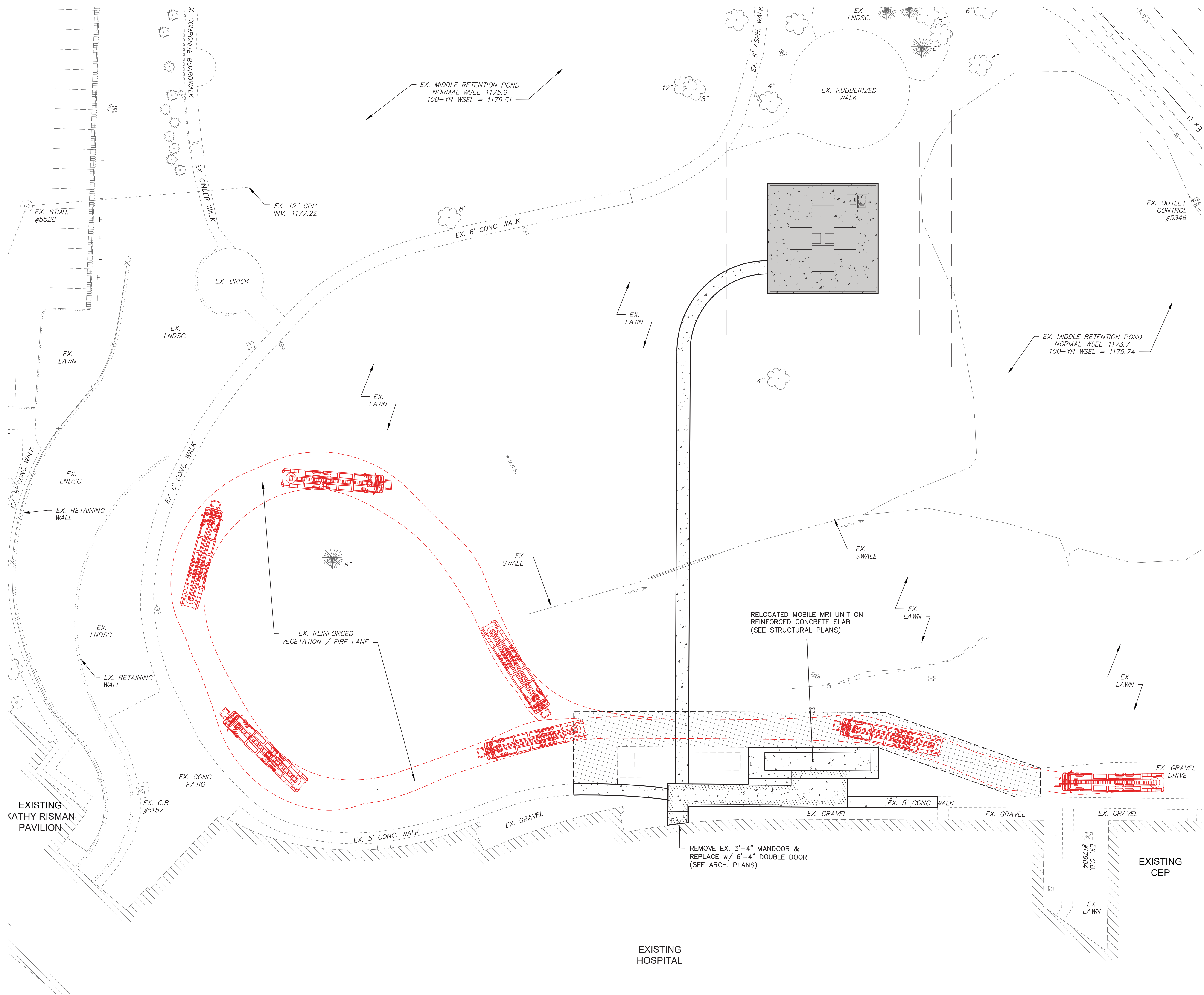


PROPOSED GRAVEL DRIVE FOR FIRE ACCESS  
SEE DETAIL SHEET C7.00

## SITE NOTES

1. ALL SITE IMPROVEMENTS SHALL COMPLY WITH THE 2010 ADAAG: AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
2. CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION ACTIVITIES IN ORDER TO PROVIDE ACCESS TO ALL SURROUNDING BUILDINGS ENTRANCE AND TRUCK DOCKS.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OR COUNTY BEFORE PERFORMING ANY WORK.
4. CONTRACTOR SHALL VERIFY EXISTING GRADES AND TOPOGRAPHY TO ENSURE EXISTING FLOORS AND ELEVATIONS COMPLY WITH ADA STANDARDS. ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON THESE PLANS AND WHAT IS FOUND IN THE FIELD SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
5. RECONNECT ALL DISTURBED UTILITIES, PIPES, DRAIN TILES, ETC. THAT ARE NOT DESIGNATED FOR RELOCATION.
6. HAUL IN ADDITIONAL, OR HAUL AWAY EXCESS MATERIAL AS REQUIRED & DISPOSE OF ALL SPOILS AT NO EXTRA TO THE CONTRACT.
7. SAVE AND PROTECT TREES & LANDSCAPING THAT ARE NOT DESIGNATED FOR REMOVAL.
8. ADA ACCESSIBLE RAMPS ARE TO BE 2% MAX. CROSS SLOPE AND 8.33% MAX. RUNNING SLOPE
9. ADA ACCESSIBLE LANDINGS ARE TO BE 2% MAX CROSS AND RUNNING SLOPE.
10. INSTALL SEEDING AND MULCHING REQUIRED TO RESTORE ALL DISTURBED AREAS AS A RESULT OF CONTRACTOR OPERATIONS. THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED GRASS AREAS. SEEDING TO BE PERFORMED BETWEEN APRIL 1ST AND SEPTEMBER 30TH
11. ALL GRADES ARE FINISH PAVEMENT GRADES AND DIMENSIONS ARE MEASURED FROM FACE OF CURB, UNLESS OTHERWISE NOTED.
12. EXISTING PAVING GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
13. PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING TO BE SEALED WITH HOT APPLIED JOINT SEALER. (TYP)
14. CONTRACTOR TO RELOCATE ANY DISTURBED EXISTING LANDSCAPING IRRIGATION LINES IF ENCOUNTERED.
15. CONTRACTOR TO MATCH EXISTING CURB SHAPE (FILLET, CHAMFER, ETC).
16. ALL PROPOSED PAVEMENT MARKINGS TO BE 4" IN WIDTH AND YELLOW IN COLOR, UNLESS OTHERWISE NOTED.

PLOT DATE: 3/26/2020 6:13 PM  
[P]University HospitalAhuja\20190436-200 UH - Ahuja - Med Ctr Ph II - CivilDrawings\Civil\Enabling\CA.11.dwg  
3/26/2020 6:13 PM Sssak, Christopher



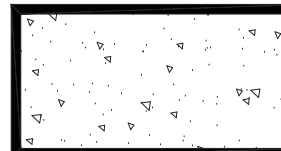
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EOP  
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(TYP)  
C/O

EXISTING  
PROPOSED  
CENTER LINE  
PERFORATED  
RIGHT OF WAY  
BUILDING  
BENCHMARK  
LINEAR FEET  
EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT

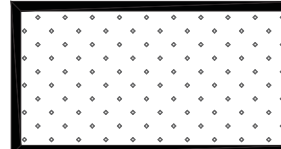


GRAPHIC SCALE  
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( IN FEET )  
1 inch = 20 ft.

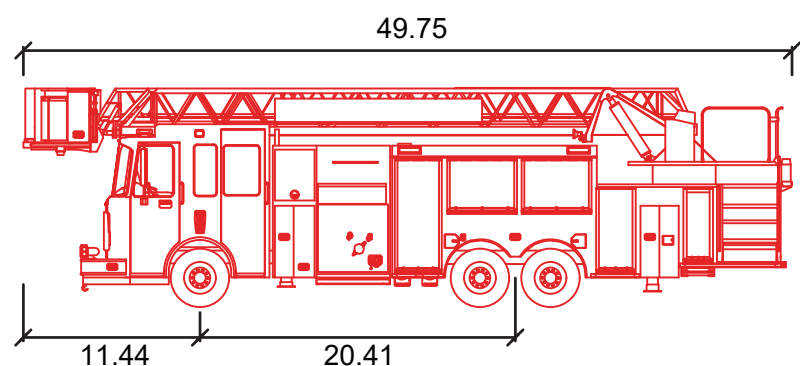
#### SITE LEGEND



PROPOSED CONCRETE  
SIDEWALK



PROPOSED GRAVEL  
FIRE LANE RELOCATION



E-One Cyclone II  
Width : 8.33  
Track : 8.33  
Lock to Lock Time : 6.0  
Steering Angle : 31.0

# HKS

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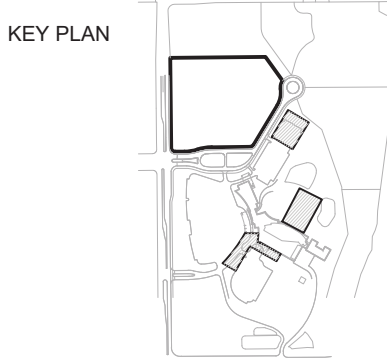
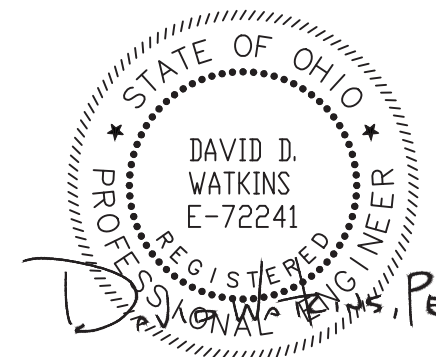
## AHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS



University  
Hospitals

HELI-PAD CONSULTANT  
FEC HELIPORTS  
5286 RIVER RD.  
CINCINNATI, OH 45223

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



REVISION NO.	DESCRIPTION	DATE
1	PERMIT	03 / 30 / 2020
2	P & Z / ARB	03 / 30 / 2020

HKS PROJECT NUMBER  
21551.000

DATE  
03/30/2020

ISSUE  
PERMIT

SHEET TITLE  
MRI & HELI-PAD  
AUTO TURN

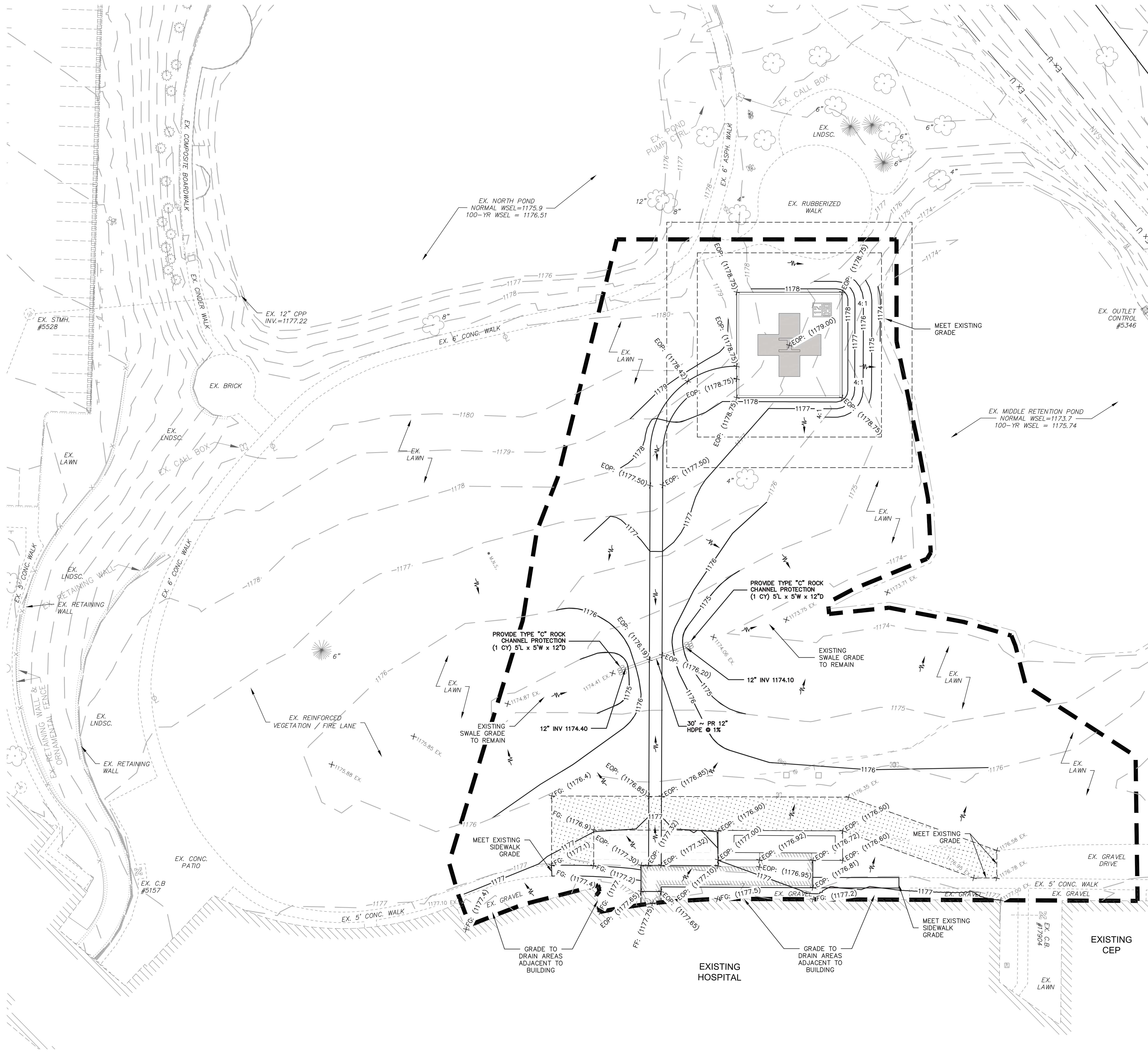
SHEET NO.

C4.11



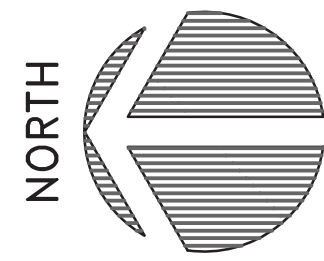
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PLOT DATE: 3/27/2020 11:49 AM  
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Sesak, Christopher



EX  
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BLDG  
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(TYP)  
C/O

EXISTING  
PROPOSED  
CENTER LINE  
PERFORATED  
RIGHT OF WAY  
BUILDING  
BENCHMARK  
LINEAR FEET  
EDGE OF PAVEMENT  
PAVEMENT  
CONCRETE  
BACK OF CONCRETE  
TYPICAL  
CLEANOUT



GRAPHIC SCALE  
20 0 10 20  
( IN FEET )  
1 inch = 20 ft.

#### GRADING NOTES:

1. ALL DIMENSIONS TO THE FACE OF CURB, FACE OF BUILDING, & FACE OF WALL UNLESS OTHERWISE STATED.
2. ALL PAVEMENT AND SITE WORK SHALL CONFORM THE LATEST CITY STANDARD DETAILS AND SPECIFICATIONS.
3. FOR BUILDING DIMENSIONS & DETAILS SEE ARCHITECTURAL PLANS.
4. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY COMMENCES.
5. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS.
6. ANY GRADING OF DISTURBED AREAS SHALL BE SEEDED PER SEEDING NOTES, UNLESS OTHERWISE NOTED.
7. ALL EARTHWORK, SUBGRADE PREPARATION, & BACKFILL REQUIREMENTS SHALL BE PER THE LATEST CITY STANDARD DETAILS AND SPECIFICATIONS.
8. NO ASPHALT OR CONCRETE PAVING SHALL BE INSTALLED UNTIL ALL UTILITIES IN, OR CROSSING, PAVED AREAS HAVE BEEN INSTALLED AND THE BASE COURSE IS APPROVED.
9. GRADES SHOWN ARE FINISHED GRADES. FOR SUBGRADE ELEVATIONS, SEE PAVING SECTIONS AND DETAILS.
10. CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ALL DIRECTIONS WITHIN HANDICAP ACCESSIBLE PARKING SPACES.

#### PR. LEGEND

1040.00 PR. TOP OF CURB EL.  
1039.35 PR. GUTTER EL.  
1043.25 FG PR. FIN. GRADE EL.  
1043.25 FF PR. FIN. FLOOR EL.  
1043.25 EOP PR. EDGE OF PAVEMENT  
1043.25 F/WALL PR. FACE OF WALL  
EX. CONTOUR MAJOR  
EX. CONTOUR  
PR. CONTOUR MAJOR  
PR. CONTOUR  
LIMITS OF GRADING  
GRADE BREAK  
PROPOSED FLOWLINE OF SWALE  
PROPOSED RUNOFF DIRECTION

#### PIPE SPECIFICATIONS:

1. STORM SEWER PIPES  
ODOT ITEM CMS 611 TYPE B CONDUITS, 707.33 (TYPE S) WITH WATERTIGHT JOINTS PER ASTM 3212 (HDPE N-12-WT-IB, UNDER PAVEMENT) OR EQUAL OR  
P.V.C. SDR 35 OR SCHEDULE 40 PIPE ASTM D-3034 / D-3212 PREMIUM JOINT  
DOWNSPOUT LEADERS BELOW GROUND (DS):  
P.V.C. SDR 35 @ 1% TYPICAL SLOPE OR SCHEDULE 40 PIPE ASTM D-3034 / D-3212 PREMIUM JOINT  
6" UNDER DRAIN (U.D.):  
PERFORATED POLYVINYL CHLORIDE (PVC) SDR 35 ASTM F-758 / PS 46 / D-3034 / D-3212 WITH PREMIUM JOINT. CONNECT TO SEWERS WITH PRE-FABRICATED BENDS, WYES, RISERS & FITTINGS.  
CLEAN OUTS FOR 6" UNDER DRAINS SHALL HAVE GRATED LIDS

#### E SITE ELECTRIC PLAN

SEE ELECTRICAL DRAWINGS FOR SITE ELECTRIC PLAN FOR TELECOMMUNICATIONS AND ELECTRIC DUCT BANK LOCATIONS.

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## AHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS

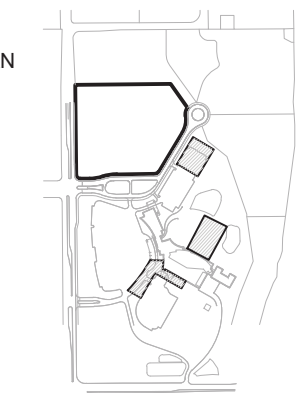


HELI-PAD CONSULTANT  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



#### KEY PLAN



REVISION	NO.	DESCRIPTION	DATE
1	PERMIT		3 / 30 / 2020
2	P & Z / ARB		3 / 30 / 2020

HKS PROJECT NUMBER  
21551.000  
DATE  
3/30/2020  
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PERMIT

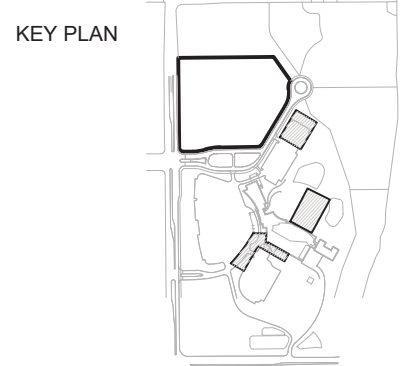
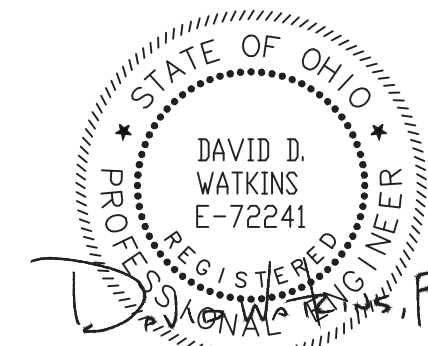
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MRI & HELI-PAD  
GRADING PLAN

SHEET NO.



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# C4.12

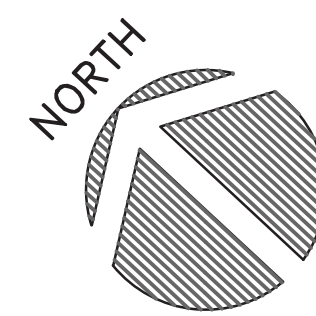
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PHASE 2 ENABLING  
PROJECTSHELI-PAD CONSULTANT  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45223CONSTRUCTION MANAGEMENT  
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REVISION NO.	DESCRIPTION	DATE
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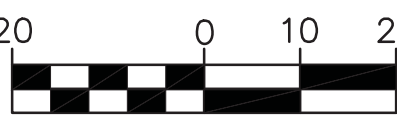
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21551.000DATE  
3/30/2020ISSUE  
PERMITSHEET TITLE  
MRI & HELI-PAD  
EROSION  
PROTECTION PLAN

SHEET NO.

C4.13



GRAPHIC SCALE

( IN FEET )  
1 inch = 20 ft.

EX	EXISTING
PR	PROPOSED
CL	CENTER LINE
PERF.	PERFORATED
R/W	RIGHT OF WAY
BLDG	BUILDING
BM	BENCHMARK
LF	LINEAR FEET
EOP	EDGE OF PAVEMENT
PVMT	PAVEMENT
CONC	CONCRETE
BC	BACK OF CONCRETE
(TYP)	TYPICAL
C/O	CLEANOUT
TLOF	TOUCHDOWN AND LIFTOFF AREA
FATO	FINAL APPROACH AND TAKEOFF AREA

## LEGEND

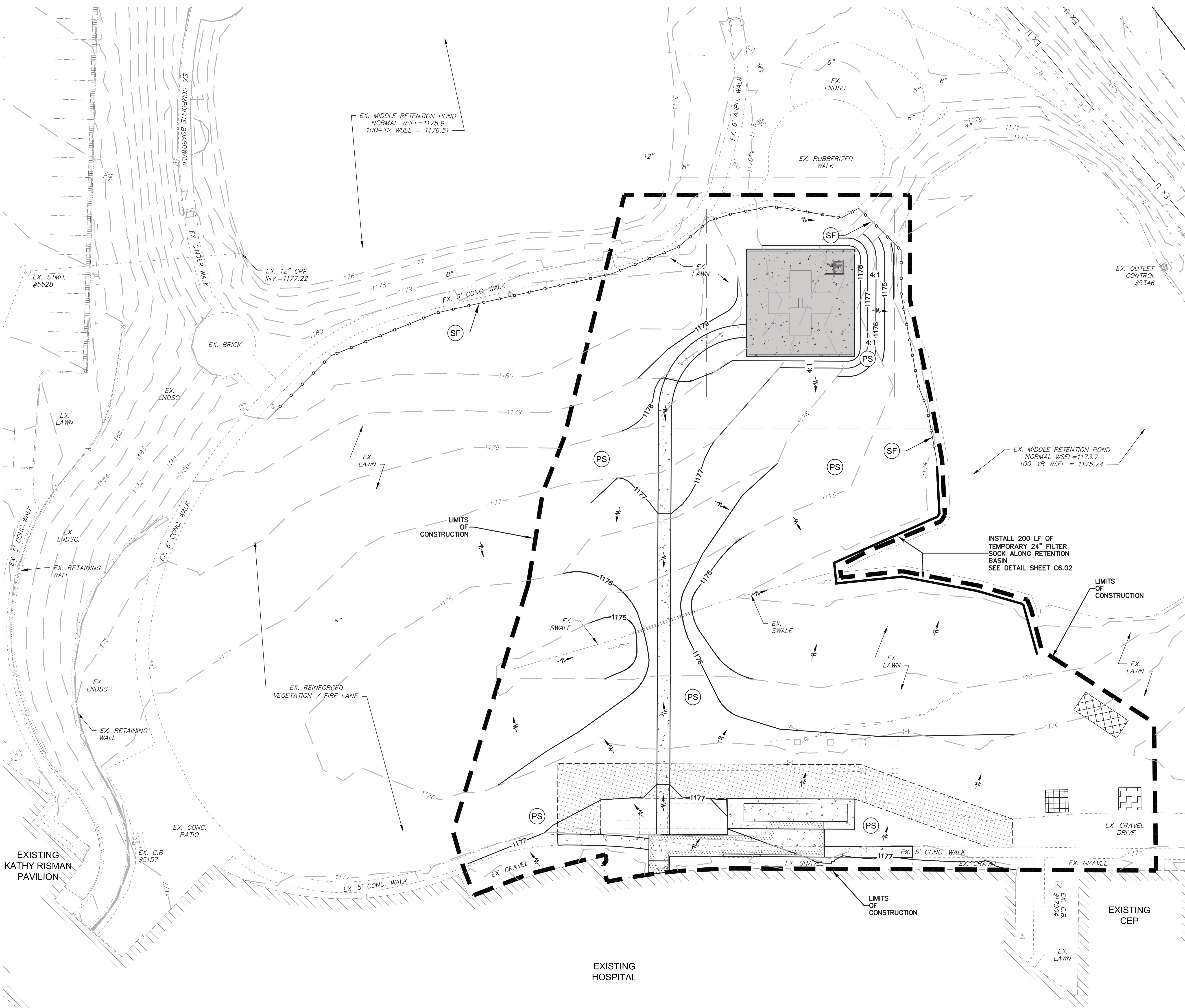
	STABILIZED CONSTRUCTION PARKING & ACCESS DRIVEWAY
	INLET PROTECTION ON ALL EXISTING & PROPOSED STORM SEWER INLETS & BASINS
	SILT FENCE AND CONSTRUCTION FENCE
	AREA OF PERMANENT SEEDING (SEE LANDSCAPE PLAN)
	AREA FOR STORAGE, DISPOSAL, DUMPSTERS, AND/OR FUELING
	CONCRETE WASHOUT FACILITY
	TRUCK WASHING AREA
	PROJECT LIMITS OF CONSTRUCTION / DISTURBANCE
	PROPOSED CONTOUR
	EXISTING SOIL TYPE
	PROPOSED STORMWATER RUNOFF DIRECTION

## GENERAL NOTES

- LOCATION OF STAGING AREA, TRUCK WASHING AREA, CONCRETE WASHOUT FACILITY, DUMPSTER AREA, AND FUEL CONTAINMENT DYKE ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATION TO BE DETERMINED BY THE CONTRACTOR.
- SEE SHEET C4.12 FOR PROPOSED GRADING & UTILITY INFORMATION.



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S:\cadd\Manager

EROSION AND SEDIMENT CONTROL GENERAL NOTES

SITE INFORMATION

LOCATION:  
UH AHUJA MEDICAL CENTER  
3999 RICHMOND RD.  
BEACHWOOD, OH 44122

OWNER:  
UH AHUJA MEDICAL CENTER  
3999 RICHMOND RD.  
BEACHWOOD, OH 44122  
CONTACT:

DESIGN ENGINEER:  
OSBORN ENGINEERING  
1100 SUPERIOR AVENUE SUITE 300  
CLEVELAND, OHIO 44114  
CONTACT: DAVID WATKINS (216) 861-2020 x3222

SITE OPERATORS:  
TBD

ESTIMATED START DATE: MAY 2020  
ESTIMATED COMPLETION DATE: AUGUST 2020

SITE DESCRIPTION

1. THIS PLAN PROPOSES FOR THE REMOVAL OF EXISTING PARKING LOT & ROADWAY PAVEMENTS AND CLEARING AND GRUBBING. PROPOSED WORK WILL INCLUDE THE INSTALLATION OF A NEW PARKING LOT, NEW ROADWAYS, SITE WIDE GRADING, UTILITIES, SANITARY SEWERS, STORM SEWERS, TWO STORMWATER DETENTION BASINS.

2. THE PORTION OF THE PROPERTY THAT WILL BE DISTURBED IS APPROXIMATELY 6.4 AC. NO OFFSITE AREAS ARE ANTICIPATED TO BE IMPACTED AS A PART OF THE PLAN. EXCESS SOIL (IF ENCOUNTERED) SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LAWFUL FACILITY.

3. SITE AREA INFORMATION

TOTAL AREA OF SITE: XXX AC  
TOTAL DISTURBED AREA: XXX AC

EXISTING IMPERVIOUS AREA: XX AC  
PROPOSED IMPERVIOUS AREA: XX AC

SEE STORMWATER MANAGEMENT REPORT FOR WATER QUALITY VOLUME CALCULATIONS.

4. SOIL INFORMATION

5. PRIOR LAND USE INFORMATION

THE PRIOR LAND USE WAS UNDEVELOPED AND CONSISTED OF MAINLY DENSE GRASS WITH SPORADIC TREES THAT LINE A STORM WATER CONVEYANCE DITCH WHICH BISECTS THE PROPERTY EAST-WEST.

6. NAME AND LOCATION OF RECEIVING STREAM, SURFACE WATER, OR MS4

LOCAL MS4 TO UNKNOWN TRIBUTARY

7. QUALITY OF STORM WATER DISCHARGE FROM CONSTRUCTION SITE: TREATED ON SITE PER INLET PROTECTION, SILT FENCE OR FILTER SOCK, DIVERSION DITCH, SEDIMENT BASIN, AND CONSTRUCTION ENTRANCES.

QUALITY CONTROL

1. LAND-DISTURBING ACTIVITIES MUST COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS AND ORDINANCES. ALL LAND-DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION AND SITE INVESTIGATION BY THE LOCAL JURISDICTIONAL AUTHORITY AND/OR THE STATE EPA. FAILURE TO COMPLY WITH LOCAL CODES, REGULATIONS AND/OR ORDINANCES IS SUBJECT TO LEGAL ENFORCEMENT ACTION. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORMWATER RUNOFF.

2. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE LOCAL JURISDICTIONAL AUTHORITY AND/OR THE STATE EPA.

3. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE SUBJECT TO INSPECTIONS BY THE VILLAGE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSPECTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES PER 24 HOUR PERIOD.

SITE CONDITIONS AND COMPLIANCE ACTIVITIES REQUIRE ON-SITE INSPECTION OF CONTROLS. AT A MINIMUM, THE NPDES PERMITTEE SHALL ASSIGN QUALIFIED INSPECTION PERSONNEL TO CONDUCT INSPECTIONS AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCH OF RAIN PER 24 HOUR PERIOD TO EVALUATE WHETHER THE SWP3 IS ADEQUATE AND PROPERLY IMPLEMENTED.

ALL TEMPORARY AND PERMANENT CONTROL PRACTICES ARE REQUIRED TO BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN 3 DAYS OF THE INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF THE INSPECTION.

4. THE INSPECTION FREQUENCY MAY BE REDUCED TO MONTHLY FOR DORMANT SITE IF THE ENTIRE SITE IS TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY TO WEATHER CONDITIONS FOR EXTENDED PERIODS OF TIME (E.G. FROZEN GROUND).

5. THE CONTRACTOR SHALL KEEP COPIES OF THE INSPECTION REPORTS ONSITE.

6. INSPECTION RECORDS SHALL BE KEPT FOR 3 YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITIES.

GENERAL

1. ALL DEWATERING FLOWS SHALL BE SILT-FREE PRIOR TO DISCHARGE, AND DISCHARGE SHALL BE DIRECTED TO STABILIZED SITES SUCH AS STREAMS, PONDS, STORM SEWERS OR EXISTING GRASSED DRAINAGE WAYS ACCEPTABLE TO THE OWNER. DO NOT DISCHARGE ONTO EXPOSED SOILS OR ANY OTHER SITE WHERE FLOWS COULD CAUSE EROSION.

2. PRESERVATION SHALL TAKE PRECEDENCE OVER REMOVAL WITHIN THE TEMPORARY WORK LIMITS. REMOVE ONLY THOSE TREES, SHRUBS AND STRUCTURES NECESSARY TO COMPLETE CONSTRUCTION AND MAINTAIN THE NEW FACILITIES. REPLACEMENT "IN-KIND" OF REMOVED ITEMS SHOULD OCCUR WHEREVER POSSIBLE.

3. STOCKPILED TOPSOIL AND MATERIALS SHALL BE PROTECTED WITH EROSION CONTROL BARRIERS OR TEMPORARY SEEDING.

4. EXCESS SOIL THAT IS STOCKPILED MUST BE EITHER REMOVED OR REGRADED WITHIN 15 DAYS OF THE COMPLETION OF THE CONSTRUCTION.

5. NO FILL, TOPSOIL OR HEAVY EQUIPMENT SHALL BE STORED WITHIN 200 FEET OF A STREAM BANK OR WITHIN THE DRIPLINE OF TREE AREAS.

6. ALL DISTURBED VEGETATION IS TO BE RESEEDD AS PART OF RESTORATION UNLESS THE AREAS WILL BE PAVED OR OCCUPIED.

7. ONLY WATER OR CALCIUM CHLORIDE WILL BE USED AS A DUST PALLIATIVE.

8. CONTRACTOR SHALL INSPECT ALL INSTALLATIONS OF SOIL EROSION AND SEDIMENTATION CONTROL METHODS DAILY, ANY DAMAGED OR NON FUNCTIONAL AREAS SHALL BE REPAIRED IMMEDIATELY AND MAINTAINED THROUGH THE DURATION OF THE PROJECT OR UNTIL STABILIZED VEGETATION IS ESTABLISHED.

9. SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT EARTH DISTURBING ACTIVITY. SEDIMENT PONDS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RESTABILIZED.

10. IN THE EVENT OF CONFLICT BETWEEN THESE REQUIREMENTS AND POLLUTION CONTROL LAWS, RULES OR REGULATIONS OF OTHER FEDERAL, STATE, OR LOCAL AGENCIES, THE MORE RESTRICTIVE LAWS, RULES OR REGULATIONS SHALL APPLY.

11. OPEN BURNING OF BRUSH, FELLED TREES OR SITE DEBRIS IS STRICTLY PROHIBITED.

SILT FENCE NOTES

1. FILTER FABRIC MATERIAL FOR SILT FENCE SHALL BE PURCHASED IN A CONTINUOUS ROLL. CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.

2. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).

3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM 16 INCHES).

4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP FOR THE SILT FENCE ALONG THE LINE OF POSTS, UPSLOPE FROM THE BARRIER.

5. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER MATERIAL.

6. THE SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

7. THE CONTRACTOR SHALL MAINTAIN SILT FENCE UNTIL UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED

8. SILT FENCE AND OTHER PERIMETER CONTROLS ARE REQUIRED TO BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY.

9. WHERE SILT FENCE IS FULL OF SEDIMENT, CLEANING AND/OR REPLACEMENT IS NECESSARY TO ENSURE THAT THE SEDIMENT CONTROL IS FUNCTIONING AS INTENDED.

10. WHERE 2 ENDS OF SILT FENCE MEET, THE ENDS MUST BE TWISTED PRIOR TO SHAKING. SIMPLY OVERLAPPING THE ENDS IS NOT PROPER INSTALLATION.

SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. EXTRA CARE SHALL BE TAKEN TO MAINTAIN SILT FENCE NEAR POND.

2. SHOULD THE FABRIC ON THE SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

3. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDD.

OFFSITE SEDIMENT TRACKING

THE CONTRACTOR SHALL PROVIDE REGULAR SWEEPING OF ADJACENT STREETS DURING CONSTRUCTION AND REMOVE ANY LITTER CAUSED BY THEIR OPERATIONS.

NON-SEDIMENT POLLUTANT CONTROLS NOTE

NOTE THAT NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. UNDER NO CIRCUMSTANCE SHALL CEMENT TRUCKS WASH-OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATERS OF THE STATE. A SHALLOW EXCAVATION OR DIKED AREA IS REQUIRED FOR CONTROL OF THESE MATERIALS. PROVIDE A DESIGNATED LOCATION FOR THE CONTROL OF NON-SEDIMENT POLLUTANTS.

SITE GRADING DURING CONSTRUCTION NOTE

CONTRACTOR SHALL CONDUCT GRADING ACTIVITIES TO ALLOW SEDIMENT LADEN STORM WATER TO DRAIN TO THE TEMPORARY SEDIMENT TRAP / SILT FENCE DURING CONSTRUCTION.

CONSTRUCTION ACCESS NOTE

CONSTRUCTION ENTRANCE(S) AND ACCESS DRIVE(S) LOCATION SHOWN MAY VARY IF SUCCESSFUL BIDDER PREFERS DIFFERENT LOCATION AND IS APPROVED BY THE OWNER AND GOVERNING INSPECTOR.

SPECIFICATIONS FOR MULCH

1. MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT(UNDISTURBED) FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.

2. MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:

A. STRAW – STRAW SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90LBS/1,000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQ FT SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.

B. HYDROSEEDERS – WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB/AC OR 46 LB/1,000 SQ. FT.

C. OTHER – OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 10-20 TONS/AC.

3. MULCH ANCHORING – MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH.

A. MECHANICAL – USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.

B. MULCH NETTINGS – USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING SUGGESTIONS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.

C. ASPHALT EMULSION – FOR STRAW MULCH, APPLY AT THE RATE OF 160 GAL/AC (0.1 GAL/SY) INTO THE MULCH AS IT IS BEING APPLIED OR AS RECOMMENDED BY THE MANUFACTURE.

D. SYNTHETIC BINDERS – FOR STRAW MULCH, SYNTHETIC BINDERS AS ACRYLIC DLR(AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.

E. WOOD CELLULOSE FIBER – WOOD CELLULOSE FIBER MAY ME USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB.AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB/100 GAL OF WOOD CELLULOSE FIBER.

SOIL STABILIZATION

STABILIZATION OF DISTURBED AREAS SHALL, AT A MINIMUM, BE INITIATED IN ACCORDANCE WITH THE TIME FRAMES SPECIFIED AS FOLLOWS:

PERMANENT STABILIZATION	
AREAS REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
AREAS THAT WILL BE DORMANT FOR 1 YEAR OR MORE	WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN 2 DAYS OF REACHING FINAL GRADE
OTHER AREAS AT FINAL GRADE	WITHIN 7 DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY STABILIZATION	
AREAS REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS

ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE

WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA

FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S).

DISTURBED AREAS THAT WILL BE IDLE OVER WINTER

PRIOR TO THE ONSET OF WINTER WEATHER

SPECIFICATIONS FOR TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION

SEEDING DATES	SPECIES	LB/1,000 SQ.FT.	PER ACRE
MARCH 1 TO AUGUST 15	OATS	3	4 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
AUGUST 16 TO NOVEMBER 1	RYE	3	2 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
	WHEAT	3	2 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB

NOVEMBER 1 TO SPRING SEEDING USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING.

THE CONTRACTOR MUST USE TEMPORARY SEEDING MEASURES ON ANY CLEARED AND/OR STOCKPILED AREAS THAT ARE UNDISTURBED FOR MORE THAN 14 DAYS. ANY AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN 1 YEAR MUST BE PERMANENTLY SEEDD.

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

1. STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.

2. TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDD AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDD WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.

3. THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.

4. SOIL AMENDMENTS – APPLICATION OF TEMPORARY VEGETATION SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.

5. SEEDING METHOD – SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

HKS

OWNER  
UNIVERSITY HOSPITALS  
11100 EUCLID AVE  
CLEVELAND, OH 44100

ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

MEP ENGINEER  
OSBORN ENGINEERING  
1100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT

AECON  
1300 EAST 9TH STREET  
SUITE 500  
CLEVELAND, OH 44144

CIVIL ENGINEERING  
OSBORN ENGINEERING  
1100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

STRUCTURAL ENGINEERING  
BARBER & HOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 350  
CLEVELAND, OH 44115

LOW VOLTAGE

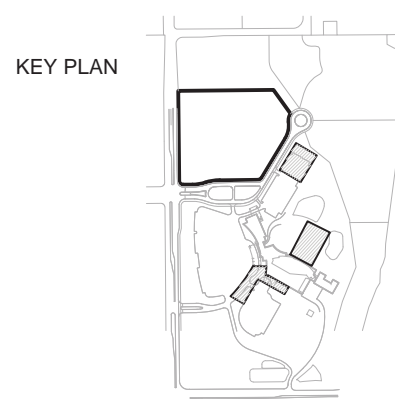
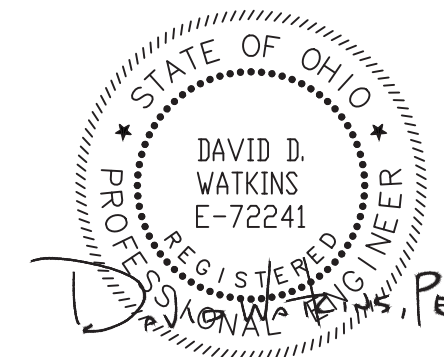
ROSS & BARUZZINI / ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS



HELI-PAD CONSULTANT  
FEC HELIPOINTS  
5288 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



REVISION NO.	DESCRIPTION	DATE
1	PERMIT	03 / 30 / 2020
2	P & Z / ARB	03 / 30 / 2020

HKS PROJECT NUMBER  
21551.000  
DATE  
03/30/2020  
ISSUE  
PERMIT

SHEET TITLE  
SWPP PLAN  
NOTES

SHEET NO.

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SPECIFICATIONS FOR PERMANENT SEEDING  
PLANTING TIME: PROCEED WITH -- AND COMPLETE -- LAWN WORK AS RAPIDLY AS PORTIONS OF THE SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. NORMAL SEEDING TIMES ARE AS FOLLOWS:

1. MARCH 15 TO JUNE 10
2. AUGUST 15 TO OCTOBER 1

SEEDING DURING OTHER THAN NORMAL SEEDING TIMES SHALL BE PERFORMED ONLY WITH THE PRIOR WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT WITH THE UNDERSTANDING THAT THE CONTRACT WILL THEREFOR BE ALTERED BY THE CHANGE ORDER.

GRASS SEED: PROVIDE FRESH, CLEAN, NEW CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSTS OF MINIMUM PERCENTAGES OF PURITY, GERMINATION AND MAXIMUM PERCENTAGES OF WEED SEED, AS FOLLOWS: OUGER SEED COMPANY (330) 724-1266 FESCUE PLUS MIX

BOTANICAL AND COMMON NAME	PERCENTAGE BY WEIGHT (MINIMUM)	PERCENTAGE PURITY (MINIMUM)	PERCENTAGE GERMINATION (MINIMUM)	PERCENTAGE WEED SEED (MINIMUM)
TALL FESCUE	20%	85%	80%	1.00%
INFERNO TALL FESCUE	20%	85%	80%	1.00%
CROSSFIRE II TALL FESCUE	20%	85%	80%	1.00%
AVENGER TALL FESCUE	20%	85%	80%	1.00%
BRIGHTSTAR SLT PERENNIAL RYEGRASS	10%	85%	80%	1.00%
BROOKLAWN KENTUCKYBLUEGRASS	10%	85%	80%	1.00%

PERFORM ALL LIMING, FERTILIZING, RAKING, AND COMPACTING OPERATIONS ONLY AT TIMES WHEN LOCAL WEATHER AND OTHER CONDITIONS AFFECTING SUCH WORK ARE NORMAL AND FAVORABLE TO THE PROPER PROSECUTION OF THE PARTICULAR WORK WITHIN THE DATES SPECIFIED OR WITHIN AN EXTENDED PERIOD OF TIME APPROVED BY THE OWNER'S REPRESENTATIVE.

FERTILIZING AND LIMING: THE CONTRACTOR SHALL INTRODUCE A 10-20-10 FERTILIZER AT THE RATE OF 20 POUNDS PER 100 SQUARE FEET. LIME OR OTHER ADDITIVES AT THE RATE APPROVED BY THE LANDSCAPE ARCHITECT. THE ABOVE ITEMS SHALL BE WORKED INTO THE TOP 2 INCHES OF SOIL AND SMOOTHED TO GRADE TO PREPARE A PROPER BED FOR SEEDING.

SOW SEED AT THE RATE OF 5 POUNDS PER 1000 SQUARE FEET FOR EACH AREA, UNIFORMLY, AND BY BROADCAST, DRILL, OR HAND SEEDING METHOD. IMMEDIATELY AFTER SOWING, RAKE DRAG, OR OTHERWISE TREAT THE AREA SO AS TO COVER THE SEED TO A DEPTH OF OF APPROXIMATELY 1/4 INCH.

NO SEEDING SHALL BE DONE DURING WINDY WEATHER, OR WHEN THE GROUND SURFACE IS MUDDY, FROZEN OR OTHERWISE NON-TILLABLE.

WHEN LANDSCAPE WORK IS COMPLETED, INCLUDING MAINTENANCE, THE LANDSCAPE ARCHITECT WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY.

FOR DISTURBED AREAS WITHIN 50 FEET OF A STREAM AT FINAL GRADE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 2 DAYS OF REACHING FINAL GRADE.

FOR DISTURBED AREAS REMAINING DORMANT FOR OVER 1 YEAR OR AT FINAL GRADE, PERMANENT EROSION CONTROL MEASURES SHALL BE APPLIED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE.

#### CONSTRUCTION DEBRIS DUMPSTER

ALL WASTE MATERIALS WILL BE COLLECTED AND DISPOSED OF INTO METAL TRASH DUMPSTER LOCATED IN THE MATERIALS STORAGE AREAS. DUMPSTER WILL HAVE A SECURE WATERTIGHT LID, BE PLACED AWAY FROM STORM WATER CONVEYANCES AND DRAINS AND MEET ALL FEDERAL, STATE AND MUNICIPAL REGULATIONS. ONLY TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED INTO THE DUMPSTER. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE. NOTICES THAT STAT THESE PRACTICES SHALL BE POSTED IN THE OFFICE TRAILER AND THE INDIVIDUAL WHO MANAGES DAY TO DAY OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED. THE DUMPSTER WILL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER STORM EVENTS. THE DUMPSTER WILL BE EMPTIED WEEKLY. IF THE TRASH AND CONSTRUCTION DEBRIS ARE EXCEEDING THE DUMPSTER CAPACITY THEN THE DUMPSTER WILL BE EMPTIED MORE FREQUENTLY. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AT AN OHIO EPA APPROVED LANDFILL AS REQUIRED BY ORC TITLE 37, CHAPTER 3714.

#### HAZARDOUS WASTE MANAGEMENT

ALL HAZARDOUS WASTE MATERIALS SUCH AS OIL FILTERS, PETROLEUM PRODUCTS, PAINT AND EQUIPMENT MAINTENANCE FLUIDS WILL BE STORED STRUCTURALLY SOUND AND SEALED IN SHIPPING CONTAINERS, WITHIN THE HAZARDOUS WASTE MATERIALS STORAGE AREA. HAZARDOUS WASTE MATERIALS WILL BE STORED IN APPROPRIATE AND CLEARLY MARKED CONTAINERS AND SEGREGATED FROM OTHER NON HAZARDOUS WASTE MATERIALS. SECONDARY CONTAINMENT WILL BE PROVIDED FOR ALL WASTER MATERIALS IN THE HAZARDOUS MATERIALS STORAGE AREA AND WILL CONSIST OF COMMERCIALLY AVAILABLE SPILL PALLETS. ADDITIONALLY ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. HAZARDOUS WASTE MATERIALS WILL NOT BE DISPOSED OF INTO ON-SITE DUMPSTERS. NOTICES THAT STATE THESE PROCEDURES WILL BE POSTED IN THE OFFICE TRAILER AND THE INDIVIDUAL WHO MANAGES DAY TO DAY OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE HAZARDOUS WASTE MATERIALS STORAGE AREAS WILL BE INSPECTED WEEKLY AND AFTER STORM EVENTS. THE STORAGE AREAS WILL BE KEPT CLEAN, WELL ORGANIZED AND EQUIPPED WITH AMPLE CLEANUP SUPPLIES AS APPROPRIATE FOR THE MATERIALS BEING STORED. MATERIAL SAFETY DATA SHEETS, MATERIALS INVENTORY AND EMERGENCY CONTACT NUMBERS WILL BE MAINTAINED IN THE OFFICE TRAILER.

CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES.

#### SANITARY FACILITIES

TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT CONSTRUCTION ACTIVITIES. THESE PORTABLE TOILETS WILL BE PROVIDE IN THE STAGING AREA AND BE LOCATED AWAY FROM A CONCENTRATED FLOW PATHS AND TRAFFIC FLOW AND WILL HAVE COLLECTION PANS UNDERNEATH AS A SECONDARY CONTAINMENT. ALL SANITARY WASTE WILL BE COLLECTED FROM THE POTABLE FACILITIES A MINIMUM TWO TIMES A WEEK. THE PORTABLE TOILETS WILL BE INSPECTED WEEKLY FOR EVIDENCE OF LEAKING FROM THE HOLDING TANKS. TOILETS WITH LEAKING TANKS WILL BE REMOVED FROM THE SITE AND REPLACED WITH NEW PORTABLE TOILETS.

#### RECYCLING

WOOD PALLETS, CARDBOARD BOXES AND OTHER RECYCLABLE CONSTRUCTION SCRAPS WILL BE DISPOSED OF IN A DESIGNATED DUMPSTER FOR RECYCLING. THE DUMPSTER WILL HAVE A SECURE WATERTIGHT LID, BE PLACED AWAY FROM STORM WATER CONVEYANCES AND DRAINS AND MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ONLY SOLID RECYCLABLE CONSTRUCTION SCRAPS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. NOTICES THAT STAT THESE PROCEDURES WILL BE POSTED IN THE OFFICE TRAILER AND THE INDIVIDUAL WHO MANAGES DAY TO DAY OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE RECYCLING DUMPSTER WILL BE INSPECTED ONCE A WEEK AND IMMEDIATELY AFTER STORM EVENTS. THE RECYCLING DUMPSTER WILL BE EMPTIED WEEKLY. IF RECYCLABLE CONSTRUCTION WASTES ARE EXCEEDING THE DUMPSTER'S CAPACITY, THE DUMPSTERS WILL BE EMPTIED MORE FREQUENTLY.

#### MATERIALS STAGING AREA

CONSTRUCTION EQUIPMENT AND MAINTENANCE MATERIALS WILL BE STORE AT THE STAGING AND MATERIALS STORAGE AREAS. GRAVEL BAG BERMS WILL BE INSTALLED AROUND THE PERIMETER TO DESIGNATE THE STAGE AND MATERIALS STORAGE AREA. A WATERTIGHT SHIPPING CONTAINER WILL BE USED TO STORE HAND TOOLS, SMALL PARTS AND OTHER CONSTRUCTION MATERIALS.

NON-HAZARDOUS BUILDING MATERIALS SUCH AS PACKAGING MATERIALS (WOOD, PLASTIC, GLASS) AND CONSTRUCTION SCRAP MATERIALS (BRICK, WOOD, STEEL, METAL SCRAPS AND PIPE CUTTINGS) WILL BE STORED IN SEPARATE COVERED STORAGE FACILITY ADJACENT TO THE SHIPPING CONTAINER. ALL HAZARDOUS WASTE MATERIALS SUCH AS OIL FILTERS, PETROLEUM PRODUCTS, PAINT AND EQUIPMENT MAINTENANCE FLUIDS WILL BE STORED IN STRUCTURALLY SOUND AND SEALED CONTAINERS UNDER COVER WITHIN THE HAZARDOUS MATERIALS STORAGE AREA.

VERY LARGE ITEMS SUCH AS FRAMING MATERIALS AND STOCKPILES LUMBER, WILL BE STORED IN THE OPEN MATERIAL STORAGE AREA. SUCH MATERIALS WILL BE ELEVATED ON WOOD BLOCKS TO MINIMIZE CONTACT WITH RUNOFF.

#### PROCESS WASTEWATER/LEACHATE MANAGEMENT

ALL PROCESS WASTEWATERS (E.G. EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL, AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.

#### CONCRETE WASHOUT FACILITY

A DESIGNATED TEMPORARY, ABOVE-GRADE CONCRETE WASHOUT AREAS WILL BE CONSTRUCTED ON THE SITE, AS DETAILED ON THE SITE MAP. THE TEMPORARY CONCRETE WASHOUT AREA WILL BE CONSTRUCTED AS SHOWN IN THE PLANS, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET, BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT AREA WILL BE LINED WITH PLASTIC SHEETING AT LEAST 10 MILS THICK AND FREE OF ANY HOLES OR TEARS. SIGNS WILL BE POSTED MARKING THE LOCATION OF THE WASHOUT AREA TO ENSURE THAT CONCRETE EQUIPMENT OPERATORS USE THE PROPER FACILITY.

CONCRETE POURS WILL NOT BE CONDUCTED DURING OR BEFORE AN ANTICIPATED STORM EVENT. CONCRETE MIXER TRUCKS AND CHUTES WILL BE WASHED IN THE DESIGNATED AREA OR CONCRETE WASTES WILL BE PROPERLY DISPOSED OF OFF-SITE. WHEN THE TEMPORARY WASHOUT AREA IS NO LONGER NEEDED FOR THE CONSTRUCTION PROJECT, THE HARDENED CONCRETE AND MATERIALS USED TO CONSTRUCT THE AREA WILL BE REMOVED AND DISPOSED OF ACCORDING TO THE MAINTENANCE SECTION BELOW, AND THE AREA WILL BE STABILIZED FOR DESIGN SPECIFICATIONS, SEE DETAIL SHEET CS.02.

THE WASHOUT AREAS WILL BE INSPECTED DAILY TO ENSURE THAT ALL CONCRETE WASHING IS BEING DISCHARGED INTO THE WASHOUT AREA, NO LEAKS OR TEARS ARE PRESENT, AND TO IDENTIFY WHEN CONCRETE WASTES NEED TO BE REMOVED. THE WASHOUT AREAS WILL BE CLEANED OUT ONCE THE AREA IS FILLED TO 75 PERCENT OF THE HOLDING CAPACITY. ONCE THE AREA'S HOLDING CAPACITY HAS BEEN REACHED, THE CONCRETE WASTES WILL BE ALLOWED TO HARDENED. THE CONCRETE WILL BE BROKEN UP, REMOVED, AND DISPOSED OF. THE PLASTIC SHEETING WILL BE REPLACED IF TEARS OCCUR DURING REMOVAL OF CONCRETE WASTES FROM THE WASHOUT AREA.

#### EQUIPMENT/VEHICLE FUELING AND MAINTENANCE PRACTICES

SEVERAL TYPES OF VEHICLES AND EQUIPMENT WILL BE USED ON-SITE THROUGHOUT THE PROJECT, INCLUDING GRADERS, SCRAPERS, EXCAVATORS, LOADERS, PAVING EQUIPMENT, ROLLERS, TRUCKS AND TRAILERS, BACKHOES, AND FORKLIFTS. ALL MAJOR EQUIPMENT/VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED OFFSITE.

A SMALL, 20-GALLON PICKUP BED FUEL TANK WILL BE KEPT ON-SITE IN THE COMBINED STAGING AREA. WHEN VEHICLE FUELING MUST OCCUR ON-SITE, THE FUELING ACTIVITY WILL OCCUR IN THE STAGING AREA. ALL EQUIPMENT FLUIDS GENERATED FROM MAINTENANCE ACTIVITIES WILL BE DISPOSED OF INTO DESIGNATED DRUMS STORED ON SPILL PALLETS. ABSORBENT, SPILL-CLEANUP MATERIALS AND SPILL KITS WILL BE AVAILABLE AT THE COMBINED STAGING AND MATERIALS STORAGE AREA.

DRIP PANS WILL BE PLACED UNDER ALL EQUIPMENT RECEIVING MAINTENANCE AND VEHICLES AND EQUIPMENT PARKED OVERNIGHT.

INSPECT EQUIPMENT/VEHICLE STORAGE AREAS AND FUEL TANKS WEEKLY AND AFTER STORM EVENTS. VEHICLES AND EQUIPMENT WILL BE INSPECTED ON EACH DAY OF USE. LEAKS WILL BE REPAIRED IMMEDIATELY, OR THE PROBLEM VEHICLE(S) OR EQUIPMENT WILL BE REMOVED FROM THE PROJECT SITE. KEEP AMPLE SUPPLY OF SPILL-CLEANUP MATERIALS ON-SITE AND IMMEDIATELY CLEAN UP SPILLS AND DISPOSE OF MATERIALS PROPERLY.

#### SPILL PREVENTION AND CONTROL PLAN

1. VEHICLE MAINTENANCE: VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE. ALL VEHICLES AND EQUIPMENT INCLUDING SUBCONTRACTOR VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. DRIP PANS WILL BE PLACED UNDER ALL VEHICLES AND EQUIPMENT THAT ARE PARKED OVERNIGHT.
2. HAZARDOUS MATERIAL STORAGE: HAZARDOUS MATERIALS WILL BE STORED IN ACCORDANCE WITH SECTION 4.1, AND FEDERAL AND MUNICIPAL REGULATIONS.
3. SPILL KITS: SPILL KITS WILL BE WITHIN THE MATERIALS STORAGE AREA AND CONCRETE WASHOUT AREAS.
4. SPILLS: ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPENT ABSORBENT MATERIALS AND RAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP FOR DISPOSAL AT A LANDFILL. SPILLS LARGE ENOUGH TO DISCHARGE TO SURFACE WATER WILL BE REPORTED TO THE NATIONAL RESPONSE CENTER AT 1-800-424-8802.
5. MATERIAL SAFETY DATA SHEETS, A MATERIAL INVENTORY, AND EMERGENCY CONTACT INFORMATION WILL BE MAINTAINED AT THE ON-SITE PROJECT TRAILER.
6. DISPOSAL OF BRICKS, HARDENED CONCRETE, OR SOIL SHALL BE FREE FROM CONTAMINATION THAT MAY LEACH TO WATERWAYS.

#### BEST MANAGEMENT PRACTICES FOR GOOD HOUSEKEEPING

IN ACCORDANCE WITH THE EPA, THE CONTRACTOR SHALL IMPLEMENT GOOD HOUSEKEEPING PRACTICES IN AN EFFORT TO KEEP POLLUTANTS FROM CONTACTING RAIN AND TO KEEP POLLUTANTS FROM BEING DUMPED OR POURED INTO STORM DRAINS.

THE FOLLOWING ITEMS INCLUDE BUT ARE NOT LIMITED TO RECOMMENDED BEST MANAGEMENT PRACTICES FOR HOUSEKEEPING:

ACTIVITIES	BEST MANAGEMENT PRACTICES
PAVEMENT CLEANING	➔SWEEP PARKING LOTS AND OTHER PAVED AREAS PERIODICALLY TO REMOVE DEBRIS. DISPOSE OF DEBRIS IN THE GARBAGE. ➔OUTDOOR PAVEMENT CLEANING WITH DETERGENT IS REQUIRED, COLLECT WASH WATER AND DISPOSE IN INDOOR SINKS OR DRAINS FOR DISPOSAL AT THE SANITARY SEWER. CONTACT YOUR LOCAL WASTEWATER TREATMENT AGENCY.
LITTER CONTROL	➔PROVIDE AN ADEQUATE NUMBER OF TRASH RECEPTACLES FOR YOUR CUSTOMERS AND EMPLOYEES. THIS HELPS KEEP TRASH FROM OVERFLOWING THE RECEPTACLES. ➔PICK UP LITTER AND OTHER WASTES DAILY FROM OUTSIDE AREAS INCLUDING STORM DRAIN INLET GRATES.
WASTE DISPOSAL*	➔INSPECT DUMPSTERS AND OTHER WASTE CONTAINERS PERIODICALLY. REPAIR OR REPLACE LEAKY DUMPSTERS AND CONTAINERS. ➔COVER DUMPSTERS AND OTHER WASTE CONTAINERS. ➔NEVER DISPOSE OF WASTE PRODUCTS IN STORM DRAIN INLETS. ➔RECYCLE WASTES OR DISPOSE PROPERLY.
MATERIALS STORAGE*	➔STORE MATERIALS SUCH AS GREASE, PAINTS, DETERGENTS, METALS, AND RAW MATERIALS IN APPROPRIATE, LABELED CONTAINERS. ➔MAKE SURE ALL OUTDOOR STORAGE CONTAINERS HAVE LIDS, AND THAT THE LIDS ARE ADEQUATELY CLOSED. ➔STORE STOCKPILED MATERIALS INSIDE A BUILDING, UNDER A ROOF, OR COVERED WITH A TARP TO PREVENT CONTACT WITH RAIN.
TRAINING	➔TRAIN EMPLOYEES REGULARLY ON GOOD HOUSEKEEPING PRACTICES. ➔ASSIGN A PERSON TO BE RESPONSIBLE FOR EFFECTIVE IMPLEMENTATION OF BMPS.
EQUIPMENT/VEHICLE CLEANING	➔MAINTAIN EQUIPMENT AND VEHICLES REGULARLY. CHECK FOR AND FIX LEAKS. ➔WASH DRIP PANS TO COLLECT LEAKS OR SPILLS DURING MAINTENANCE ACTIVITIES. ➔WASH EQUIPMENT/VEHICLES IN A DESIGNATED AND/OR COVERED AREA WHERE THE WASH WATER IS COLLECTED TO BE RECYCLED OR DISCHARGED TO THE SANITARY SEWER. CONTACT YOUR LOCAL WASTEWATER TREATMENT AGENCY.
*HAZARDOUS MATERIALS MUST COMPLY WITH HAZARDOUS MATERIALS AND STORAGE REQUIREMENTS.	

#### SUGGESTED CONSTRUCTION SEQUENCING:

1. PRIOR TO INSTALLATION OF EROSION CONTROL PRACTICES AND EARTH MOVING, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCES, SILT FENCE/SILT SOCK, INLET PROTECTION, DIVERSION DITCH, SEDIMENT BASIN, STAGING AREAS, AND CONSTRUCTION DEBRIS DUMPSTER.
3. PERIMETER CONTROL DEVICES AND TRAPS SHALL BE IMPLEMENTED WITHIN 7 DAYS OF GRUBBING ACTIVITIES AND PRIOR TO GRADING OF THE AREA THEY CONTROL. ALL PERIMETER CONTROLS SHALL REMAIN IN PLACE THROUGHOUT THE LENGTH OF CONSTRUCTION, WHERE APPROPRIATE. NO EROSION CONTROLS MAY BE REMOVED WITHOUT THE APPROVAL OF THE SITE INSPECTOR. ONLY CLEAR AND GRUB TO THE EXTENT NEEDED TO INSTALL PERIMETER CONTROLS.
4. CLEARING AND GRUBBING INCLUDING DEMO WORK.
5. BEGIN EARTHWORK ACTIVITIES
6. INSTALL TEMPORARY SEEDING WHERE REQUIRED.
7. INSTALL UNDERGROUND UTILITIES.
8. INSTALL PAVEMENTS, SIDEWALKS, AND SITE FEATURES.
9. FINALIZE GRADING.
10. INSTALL PERMANENT SEEDING AND MULCHING.
11. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ONCE PERMANENT SEEDING HAS BEEN ESTABLISHED.

#### POST CONSTRUCTION BMP'S:

THE PROPOSED POST-CONSTRUCTION BMP INCLUDES A PERMEABLE PAVER SYSTEM. SEE STORMWATER MANAGEMENT REPORT FOR DESIGN CALCULATIONS.

#### EMERGENCY CONTACT:

FOR ANY SPILLS OF 25 GALLONS OR MORE OCCURRING ON SITE, IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGEMENT TEAM, THE BEACHWOOD FIRE DEPARTMENT AND THE CUYAHOGA COUNTY EMERGENCY MANAGEMENT OFFICE WITHIN 30 MINUTES OF A SPILL. PROVIDE SPILL CONTAINMENT KITS AT ALL FUEL TANKS WITH INSTRUCTIONS SHOULD A SPILL OCCUR.

NATIONAL RESPONSE CENTER	1-800-424-8802
CUYAHOGA COUNTY EMERGENCY MANAGEMENT	216-443-5700
BEACHWOOD FIRE DEPARTMENT	216-292-1965
IN CASE OF EMERGENCIES	911

#### STREET CLEANING

1. ALL TRUCKS USED ON THE CITY OF BEACHWOOD ROADS FOR STREET CLEANING MUST BE OF THE VACUUM VARIETY. TRUCKS THAT CAUSE DUST TO BE STIRRED UP, SUCH AS OPEN FACE BROOM TRUCKS, SHALL NOT BE PERMITTED.
2. IN AREAS OF PAVEMENT SAWING, ALL SAWCUTTING SLURRY MUST BE CLEARED UP AS SOON AS THE CUTTING IS COMPLETED. THE CONTRACTOR SHALL PROVIDE A STREET SWEEPER BEHIND THE SAWCUTTING OPERATION.
3. TRUCK WASH -- ALL VEHICLES LEAVING THE SITE SHALL BE CLEANED OF MUD AND WASTE BEFORE LEAVING THE SITE. CITY ROADS MUST BE KEPT CLEAN DURING CONSTRUCTION ACTIVITIES.

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LANDSCAPE ARCHITECT

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CIVIL ENGINEERING  
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STRUCTURAL ENGINEERING  
BARBER & HOFFMAN ENGINEERING  
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150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

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PROJECTS



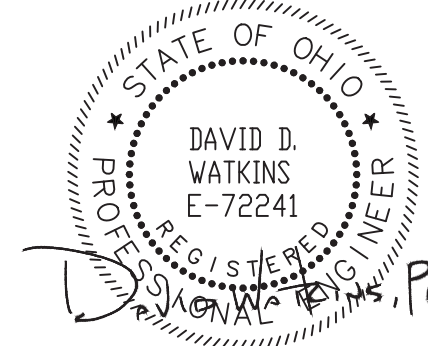
University  
Hospitals

HELI-PAD CONSULTANT

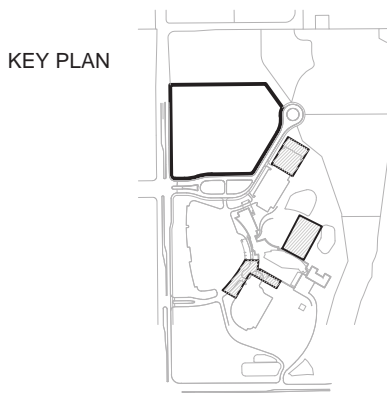
FEC HELIPORTS  
5288 RIVER RD.  
CINCINNATI, OH 45223

CONSTRUCTION MANAGEMENT

GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



KEY PLAN



REVISION  
NO. DESCRIPTION DATE

1	PERMIT	03 / 30 / 2020
2	P & Z / ARB	03 / 30 / 2020

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HKS PROJECT NUMBER

21551.000

DATE

03/30/2020

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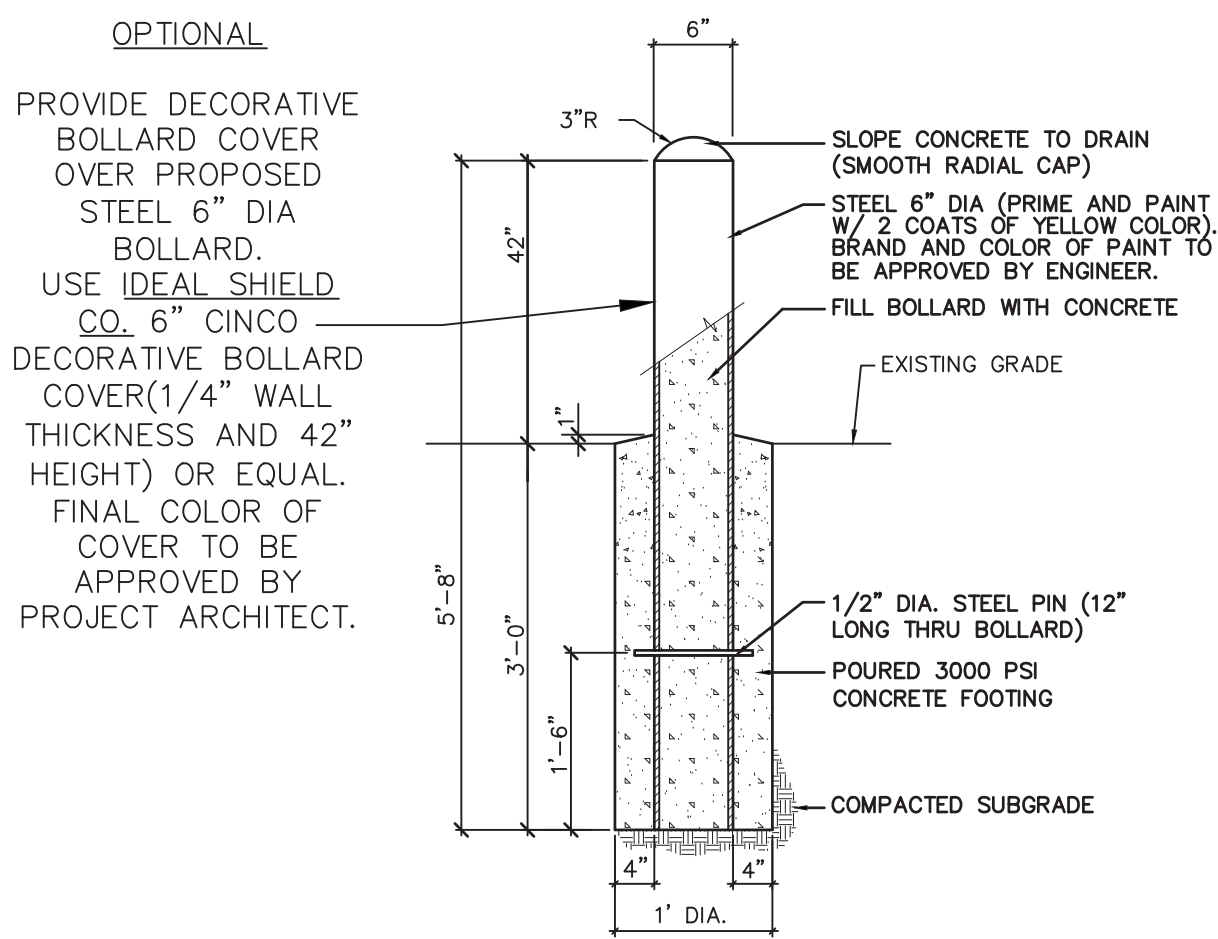
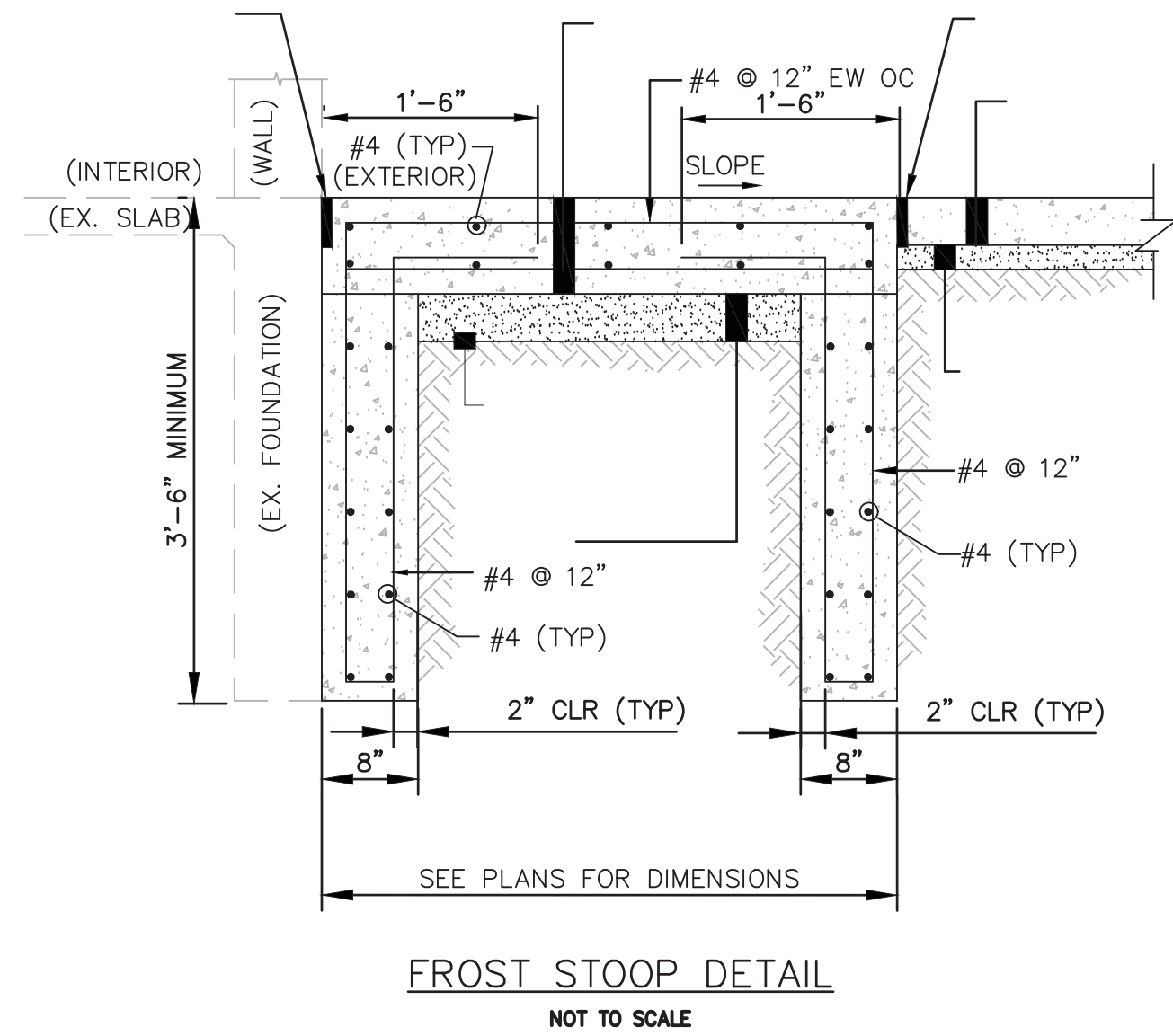
SWPP PLAN NOTES

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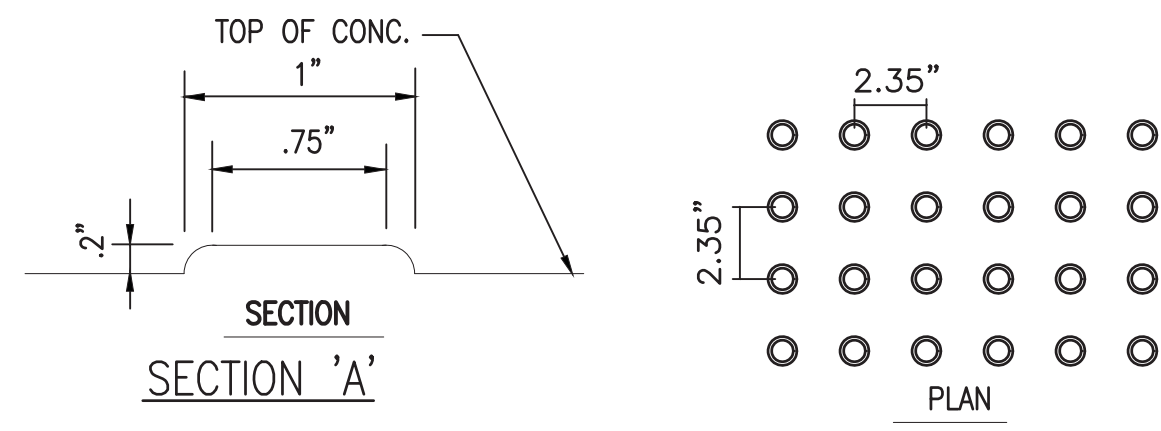
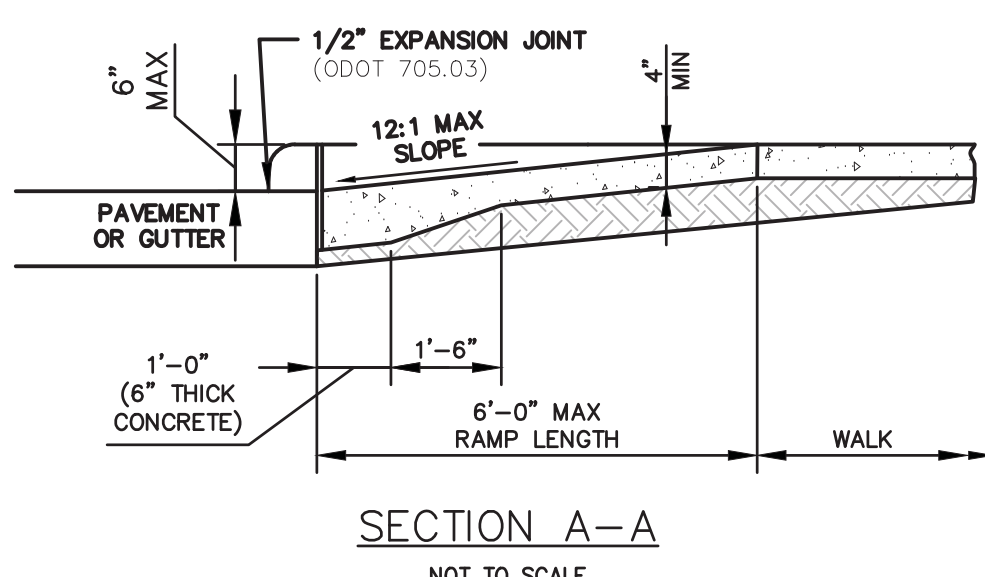
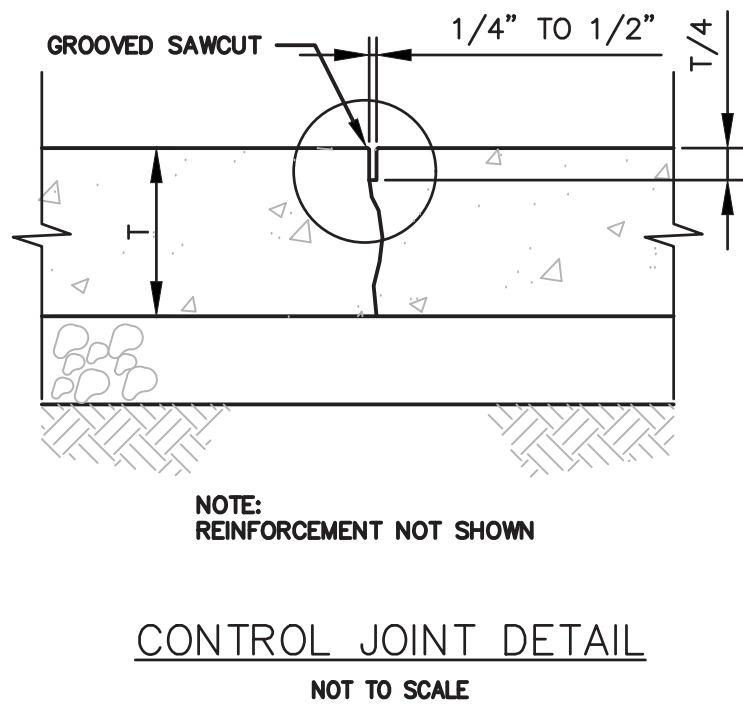
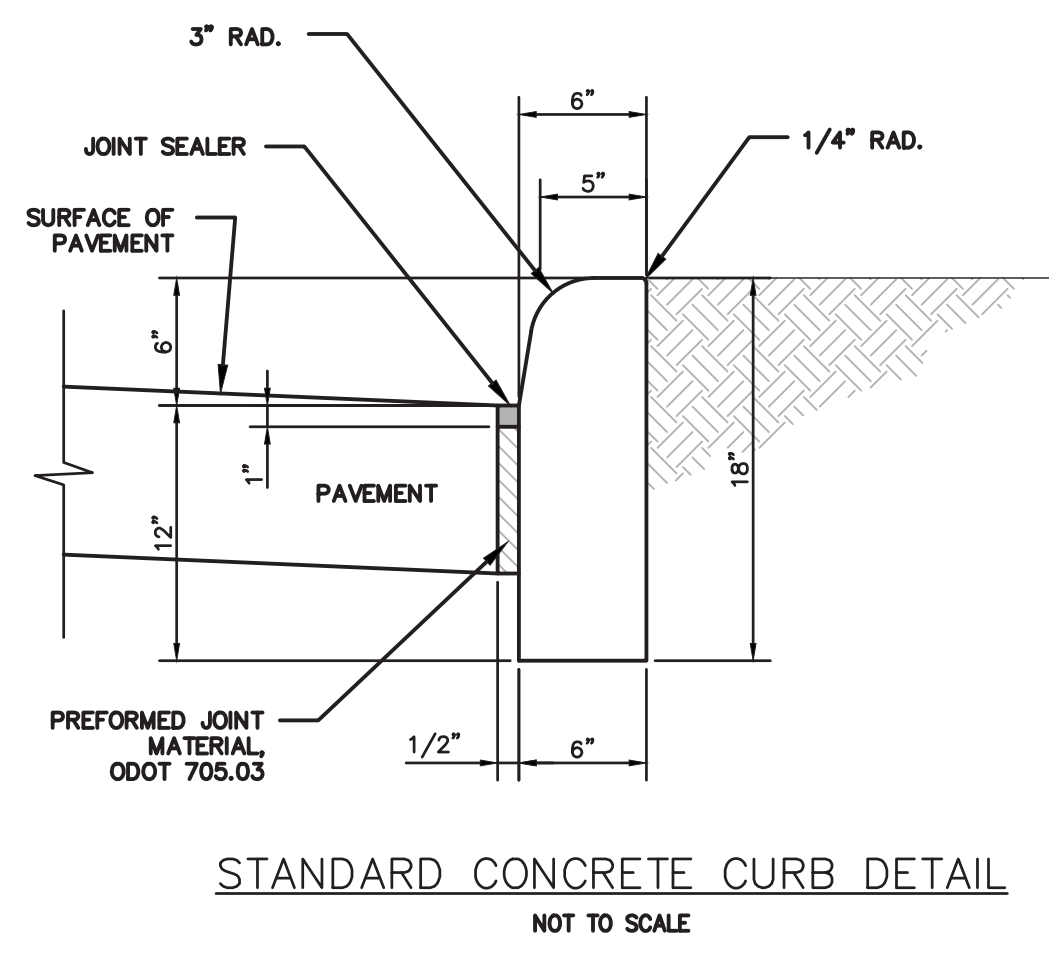
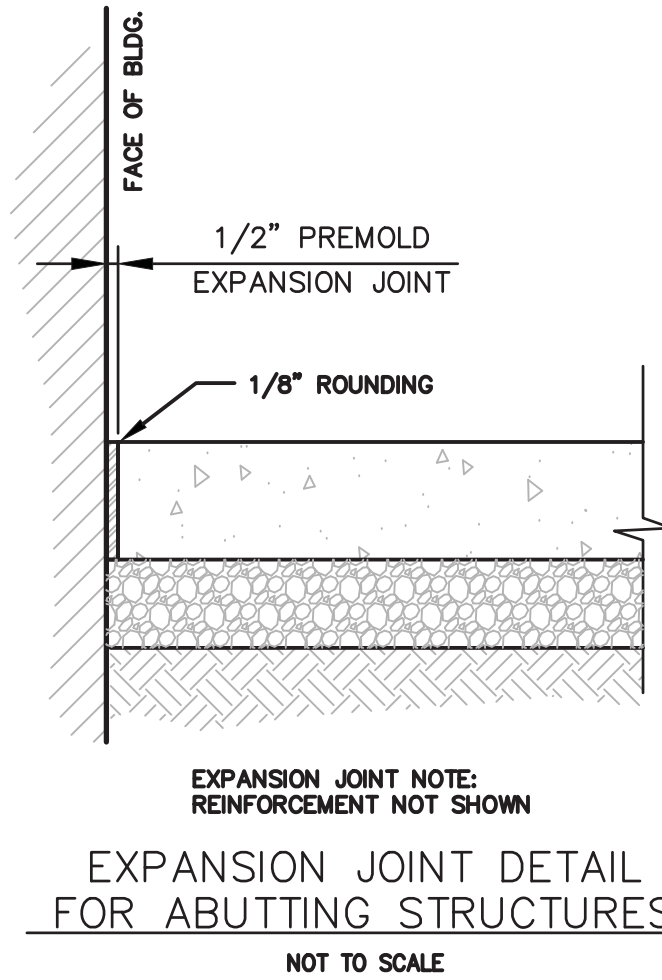
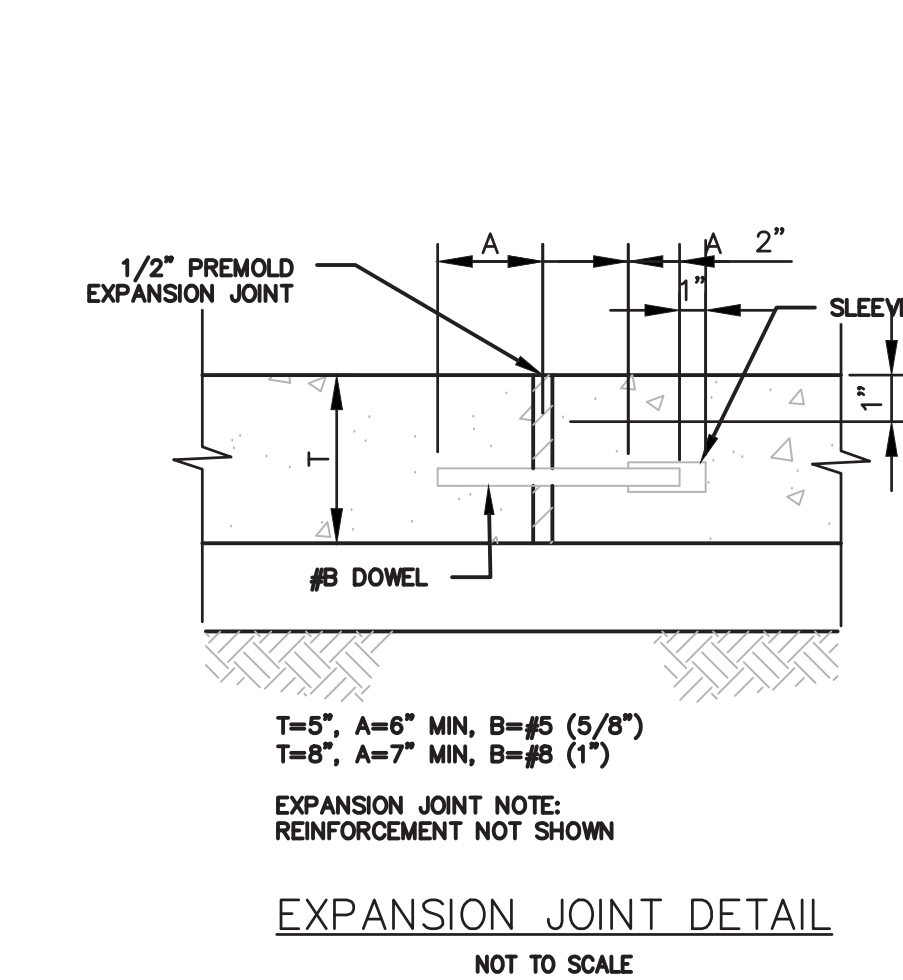


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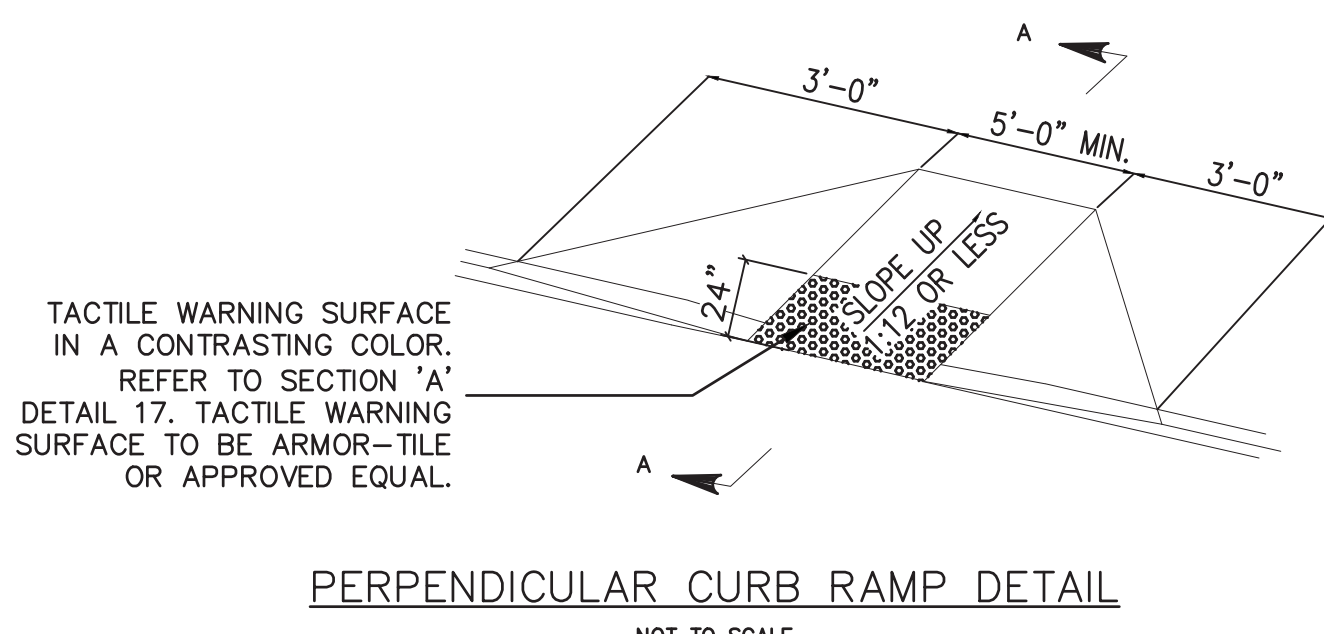


- NOTES:
- USE 3/8" x 4" EXPANSION JOINT WHEN CONCRETE ABUTS RIGID PAVEMENT.
  - USE READY-MIX CONCRETE WITH 3,000 PSI STRENGTH AT 28 DAYS.
  - TOOL ALL EXPOSED EDGES AND JOINTS TO 1/4" RADIUS.
  - PAINT EXPOSED PIPE (ENTIRE PIPE FOR REMOVEABLE) WITH TWO COATS OF SAFETY YELLOW ENAMEL.

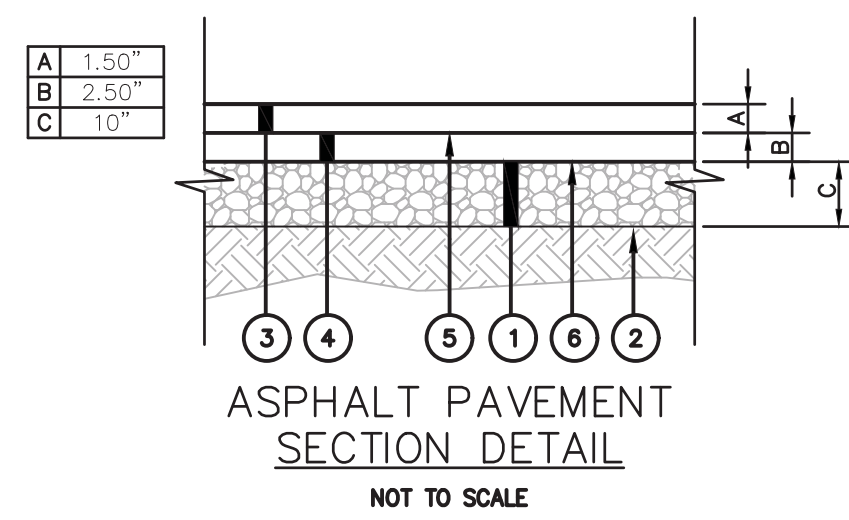
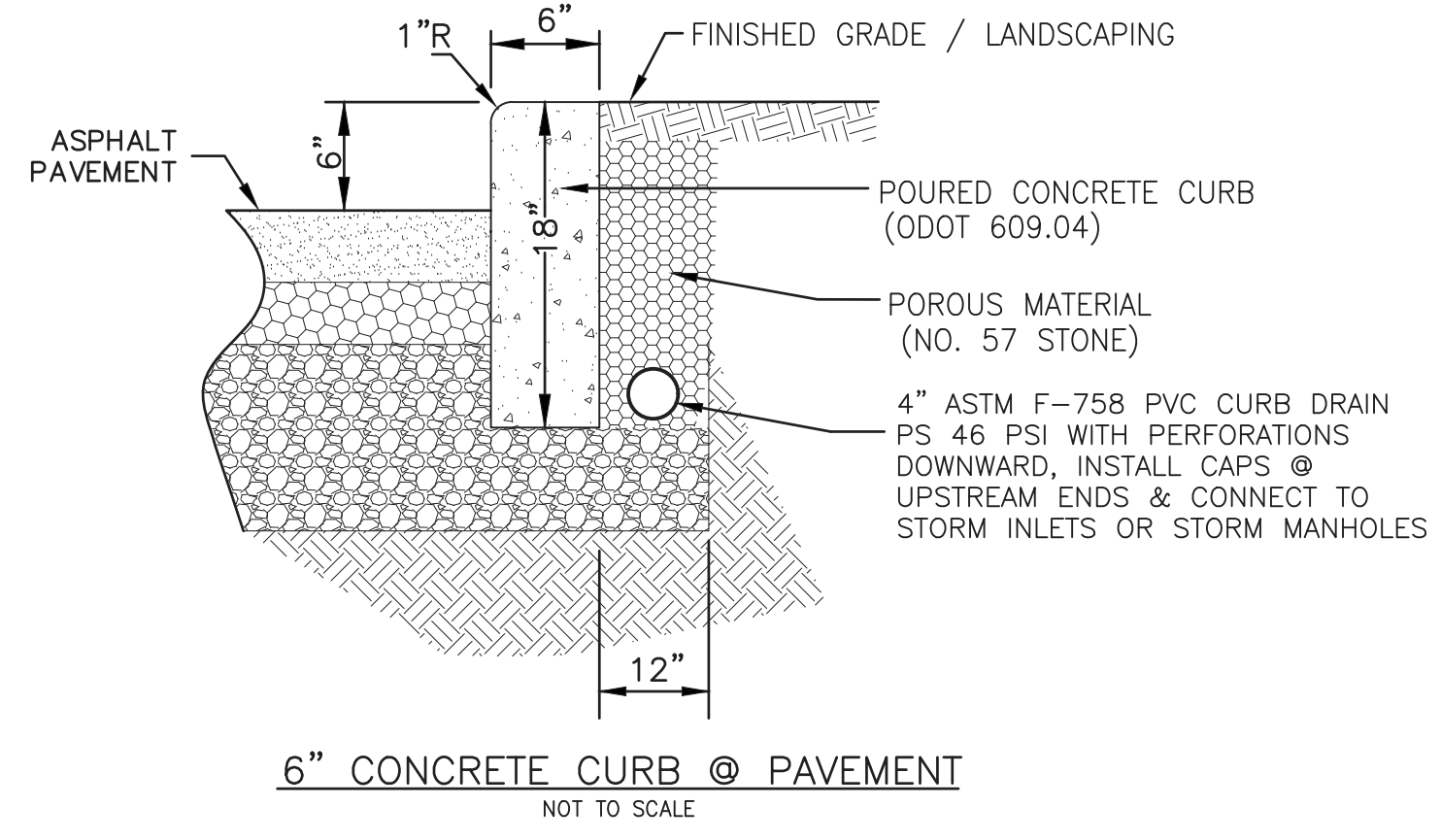
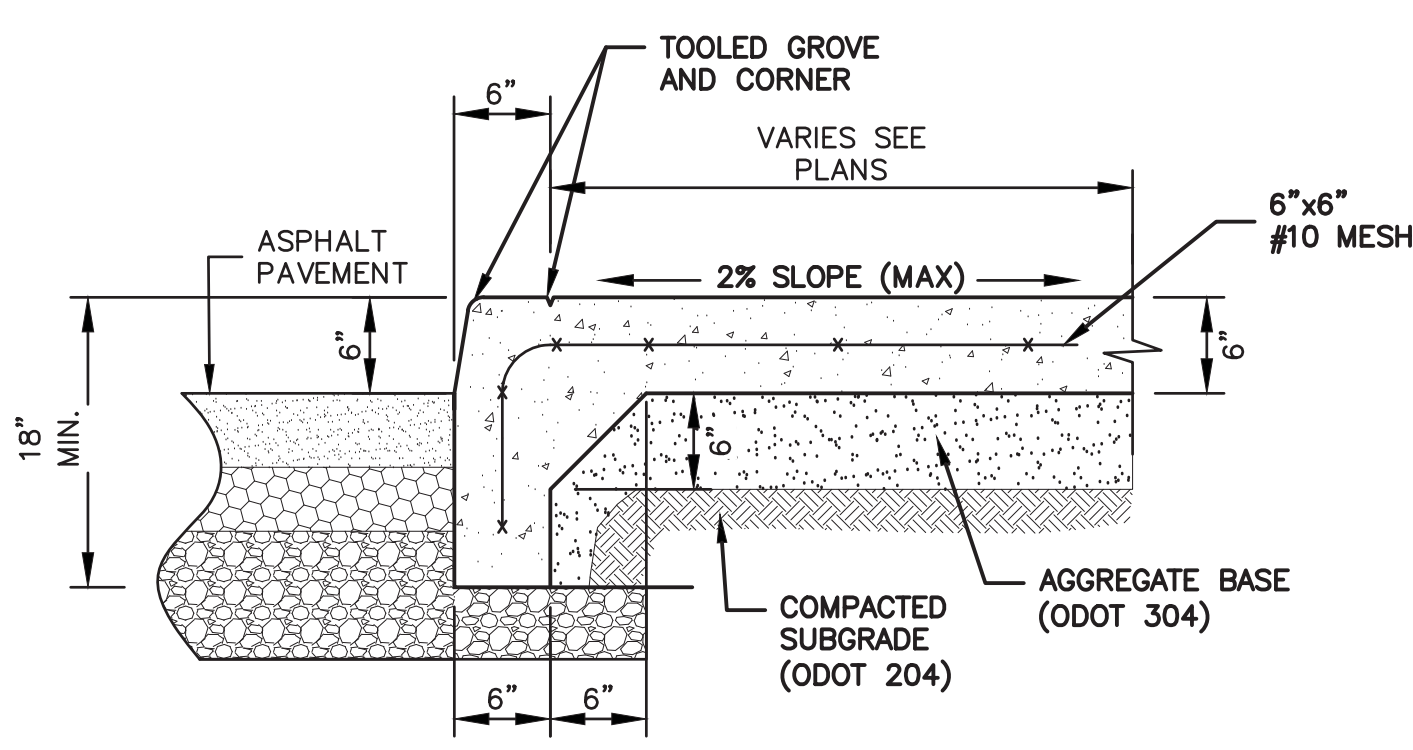
BOLLARD DETAIL  
NOT TO SCALE



NOTE: RAMP WIDTH IS TO BE 5' UNLESS OTHERWISE NOTED ON THE PLAN.



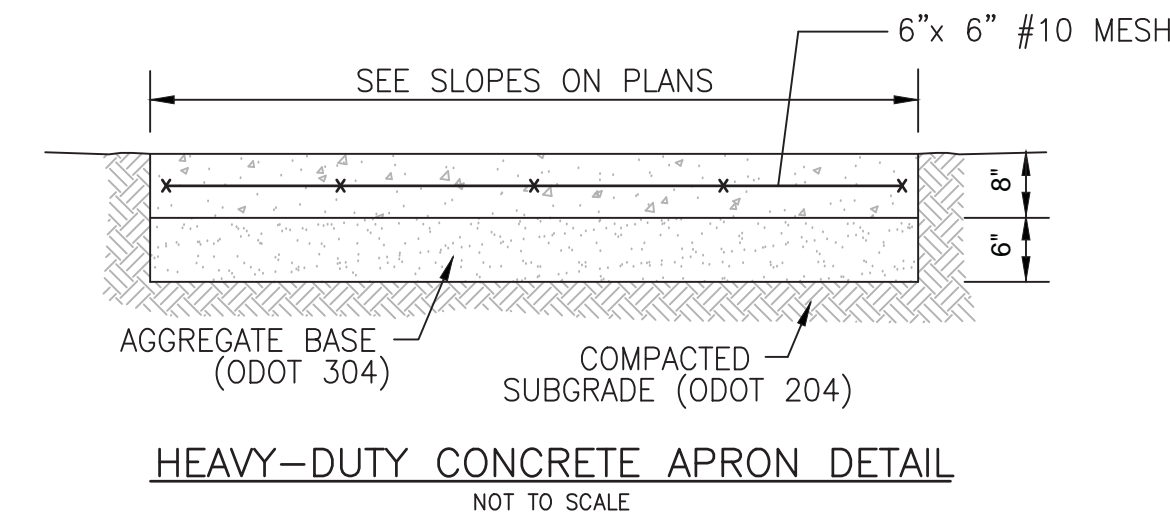
- NOTES:
- CONTRACTOR SHALL CONSTRUCT RAMP PER CURRENT ADA STANDARDS.
  - CONTRACTOR SHALL CONSTRUCT DETECTABLE WARNINGS WHICH COMPLY WITH FEDERAL REGULATIONS.
  - TRUNCATED DOMES FOR ALL CURB RAMP SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND CURRENT ADA GUIDELINES
  - INSTALL TACTILE WARNING TEXTURE AT ALL EXTERIOR RAMPED WALKS THAT EXCEED 1:20 SLOPE, IN A BAND 2'-0" DEEP x WIDTH OF WALK. REFER TO PROJECT MANUAL



- PAVEMENT LEGEND
- AGGREGATE BASE
  - SUBGRADE COMPACTION
  - ASPHALT SURFACE COURSE (ODOT 441)
  - ASPHALT INTERMEDIATE COURSE (ODOT 441)
  - TACK COAT (0.10 GAL/SQ YD) (ODOT 407)
  - PRIME COAT (0.35 GAL/SQ YD) (ODOT 408)
  - REINFORCED CONCRETE PAVEMENT (ODOT 451)
  - WELDED WIRE FABRIC MAT REINFORCEMENT (ODOT 509) (6X6 W4.0 X W4.0 MAT REINFORCEMENT)

ASPHALT PAVEMENT NOTES

- ALL BASE MATERIAL TO BE COMPACTED BY USE OF MECHANICAL TAMPER IN LAYERS NOT TO EXCEED 3 INCHES (3").
- COMPACT SUBGRADE PER ODOT 204 REQUIREMENTS.
- REPAIR SUBGRADE AS NEEDED.
- SEAL ALL JOINTS (INCLUDING TOP OF EXPANSION JOINTS) WITH 1" MIN. DEPTH ODOT 705.04 JOINT SEALER.
- ASPHALT PAVING WORK AND MATERIALS TO BE AS SPECIFIED.
- CONCRETE PAVING WORK AND MATERIALS TO BE AS SPECIFIED.
- PAVEMENT SECTION TO BE VERIFIED WITH GEOTECHNICAL ENGINEER AND APPROVED BY OWNER PRIOR TO INSTALLATION.



CONCRETE SIDEWALK NOTES

- COMPACT SUBGRADE TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT.
- WALK JOINTS SHALL BE LOCATED AT ROADWAY JOINTS & CONSTRUCT CONTRACTION JOINTS (IMPRESSED OR 1/2" SAWCUT) AT 5' MAXIMUM INTERVALS. SAW JOINTS AS SOON AS POSSIBLE AFTER PLACING CONCRETE. CONSTRUCT EXPANSION JOINTS 1/2" PRE FORMED EXPANSION JOINT MATERIAL O.D.O.T. #705.03 AT MAXIMUM 50' INTERVALS OR AS DIRECTED BY ENGINEER.
- USE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ODOT #705.03) 1/2" BELOW FINISHED GRADE JOINT SEALER O.D.O.T. 705.04 @ ASPHALT.

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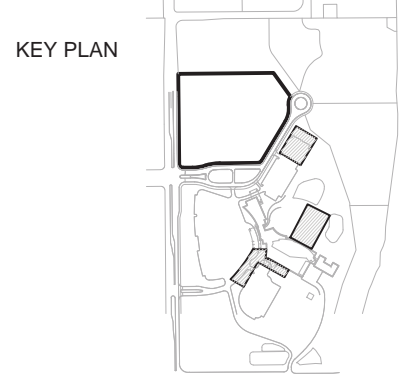
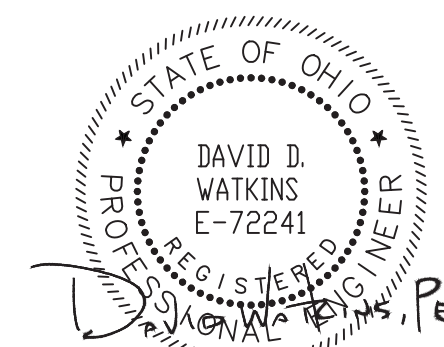
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CONSTRUCTION  
DETAILS

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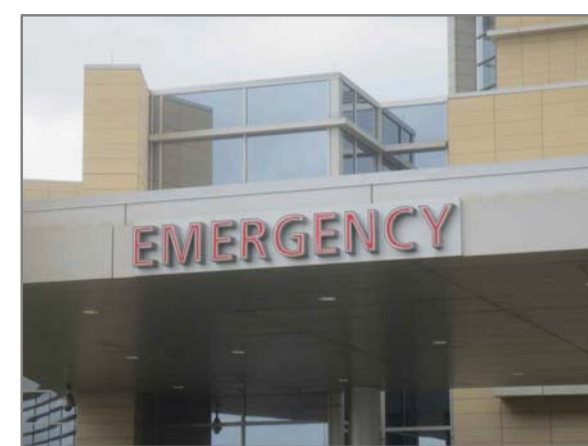
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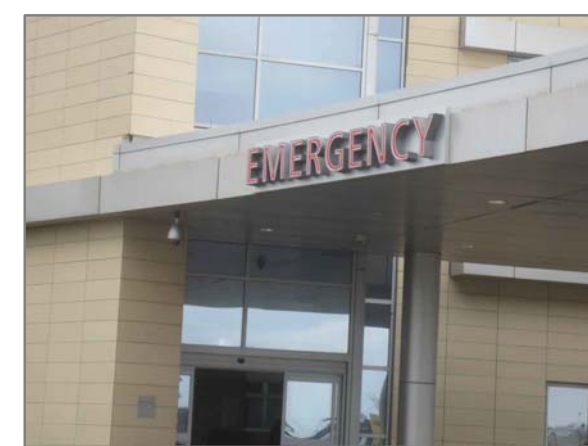
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#### LEGEND

- RS REMOVE AND SALVAGE (RETURN TO OWNER)
- RR REMOVE AND RELOCATE
- RW REWORK SIGNAGE GRAPHIC REFER TO SHEET AS.2
- ALL OTHER SIGNAGE TO REMAIN

SITE SIGNAGE PLAN  
EXISTING CONDITIONS & REMOVALS

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ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

MEP ENGINEER  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT  
AECOM  
1300 EAST 9TH STREET  
SUITE 500  
CLEVELAND, OH 44114

CIVIL ENGINEERING  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

STRUCTURAL ENGINEERING  
BARBER & HOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 300  
CLEVELAND, OH 44115

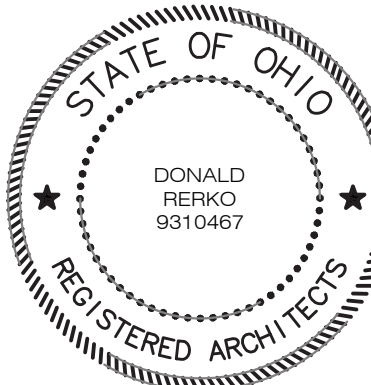
LOW VOLTAGE  
ROSS & BARLUZZINI / EDI  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

## AHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS



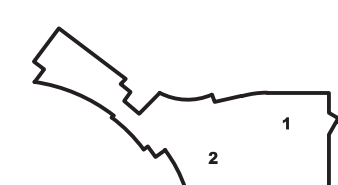
HELIPAD CONSULTANTS  
FEC HELIPORTS  
5208 RIVER ROAD  
CINCINNATI, OHIO 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



Donald Rerko, License #9310467  
Expiration Date 12/31/2021

KEY PLAN



REVISION NO.	DESCRIPTION	DATE
1	PERMIT	3/30/2020
2	P&Z / ARB	3/30/2020

HKS PROJECT NUMBER  
21551.000  
DATE  
3/30/2020  
ISSUE  
PERMIT

SHEET TITLE  
SITE SIGNAGE  
EXISTING  
CONDITIONS &  
REMOVALS  
SHEET NO.

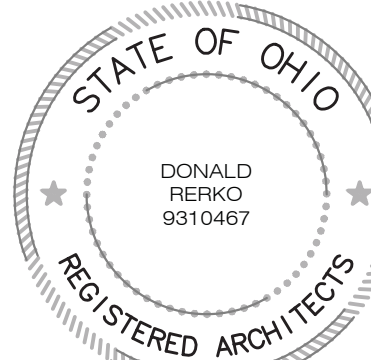
# AS.1

AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS



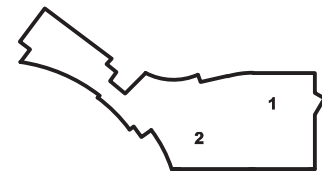
HELIPAD CONSULTANTS  
FEC HELIPORTS  
5288 RIVER ROAD  
CINCINNATI, OHIO 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



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21551.000

DATE  
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ISSUE  
PERMIT

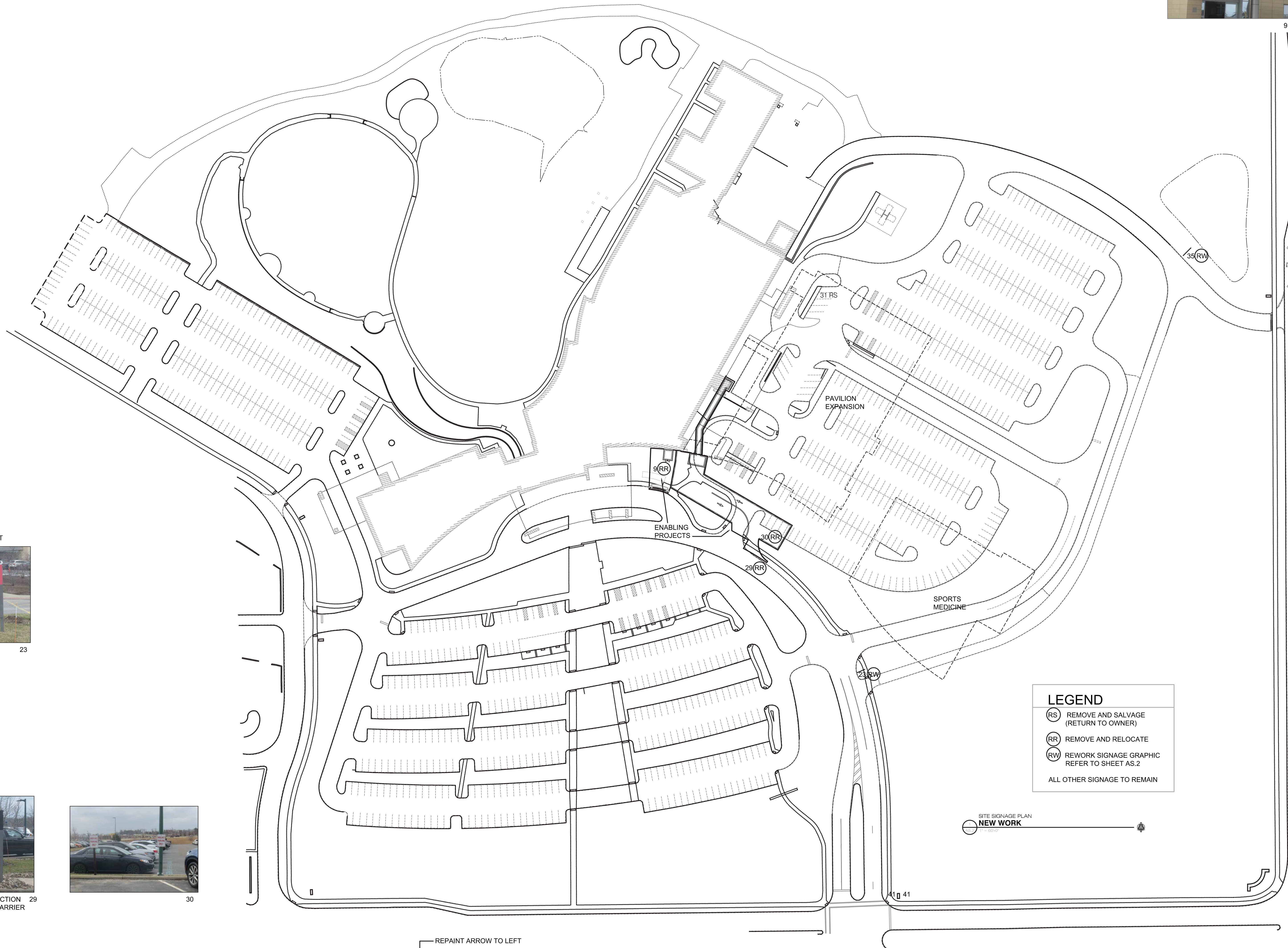
SHEET TITLE  
SITE SIGNAGE  
NEW WORK

SHEET NO.

AS.2



9



**LEGEND**

- (RS) REMOVE AND SALVAGE (RETURN TO OWNER)
- (RR) REMOVE AND RELOCATE
- (RW) REWORK SIGNAGE GRAPHIC REFER TO SHEET AS.2
- ALL OTHER SIGNAGE TO REMAIN

SITE SIGNAGE PLAN  
**NEW WORK**

REPAINT ARROW TO LEFT

23



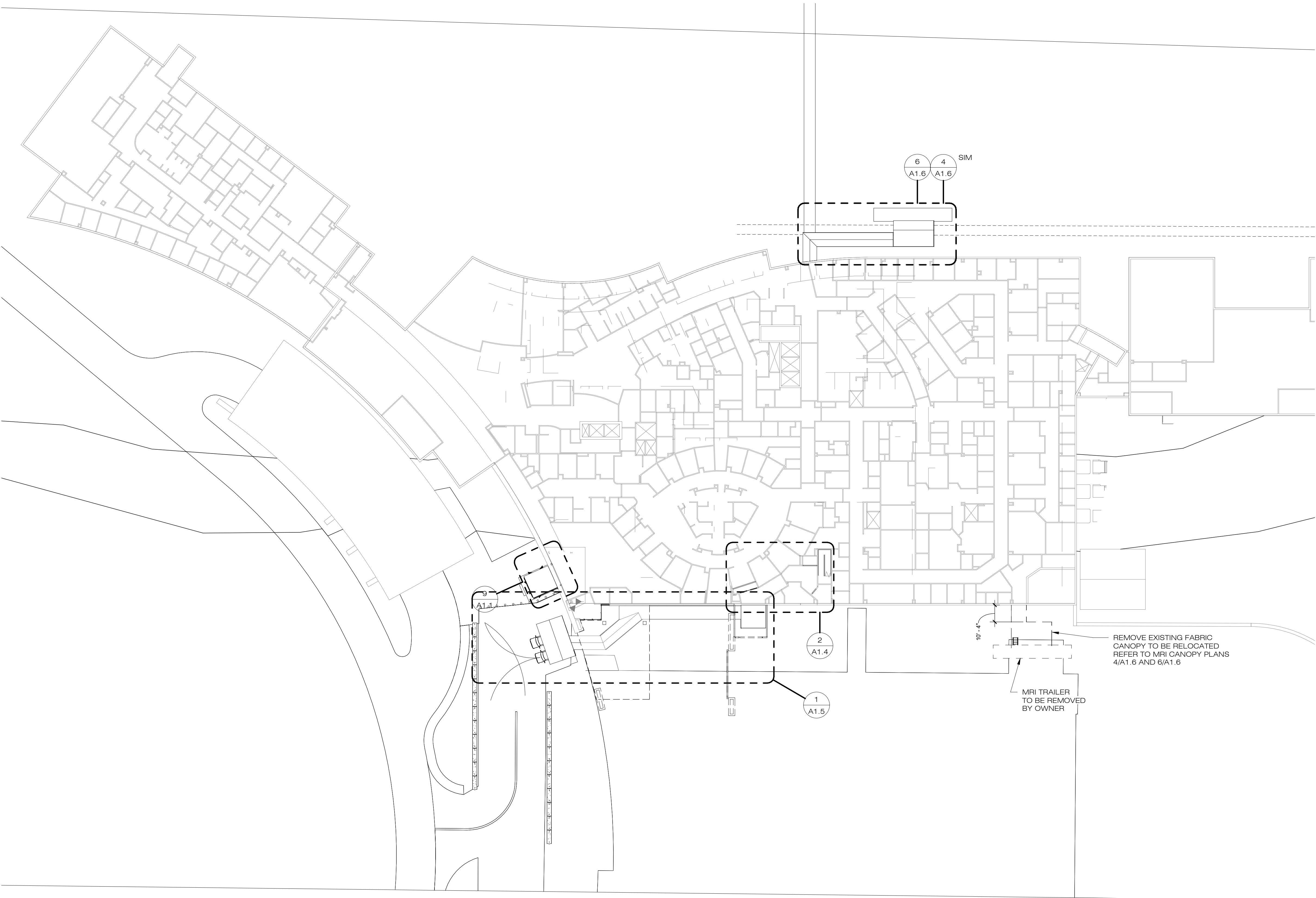
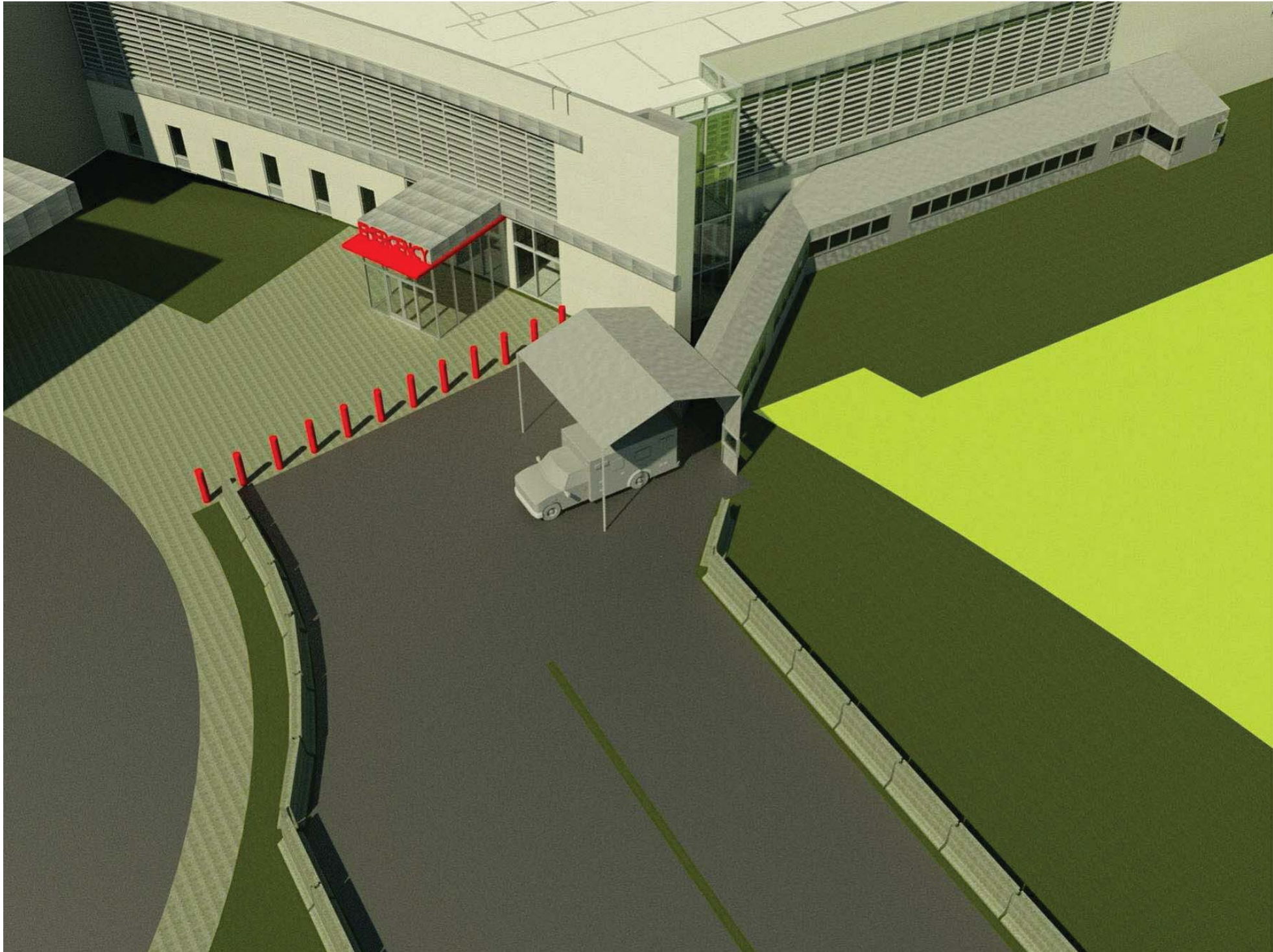
MOUNT SIGN ON CONSTRUCTION FENCING ABOVE JERSEY BARRIER



30



35



**1 COMPOSITE PLAN 1ST FLOOR/ GARDEN LEVEL**  
1/32" = 1'-0"

HKS

**OWNER**  
UNIVERSITY HOSPITALS  
11100 EUCLID AVE  
CLEVELAND, OH 44100

**ARCHITECT**  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

**ENABLING ARCHITECT**  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

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OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
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**LANDSCAPE ARCHITECT**  
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CLEVELAND, OH 44114

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BARBER & HOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 350  
CLEVELAND, OH 44115

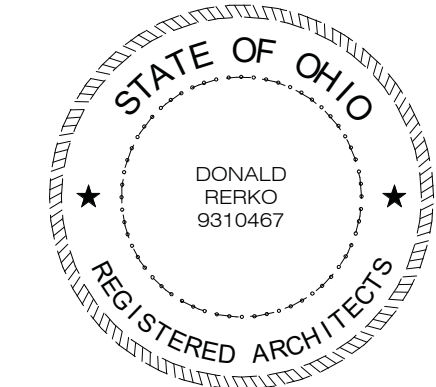
**LOW VOLTAGE**  
ROSS & BARUZZI, ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**



**HELI-PAD CONSULTANT**  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

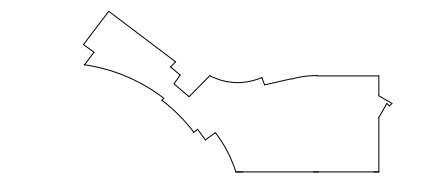
**CONSTRUCTION MANAGEMENT**  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



Donald Rierko, License  
#9310467 Expiration Date  
12/31/2021

*[Signature]*

KEY PLAN



REVISION	NO.	DESCRIPTION	DATE
1	PERMIT	3/30/2020	
2	P & Z / ARB	3/30/2020	

HKS PROJECT NUMBER

**21551.00**

DATE

**3/30/2020**

ISSUE

**PERMIT**

SHEET TITLE

**COMPOSITE PLAN**

SHEET NO.

**A0.2**

PLOT DATE: 3/25/2020 9:24 PM  
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3/25/2020 9:24 PM Sssak, C:\msdcs\...

### Specifications for De-Watering

1. A de-watering plan shall be developed prior to the commencement of any pumping activities.
2. The de-watering plan shall include all pumps and related equipment necessary for the dewatering activities and designate areas for placement of practices. Outlets for practices shall be protected from scour either by riprap protection, fabric liner, or other acceptable method of outlet protection.
3. Water that is not discharged into a settling/treatment basin but directly into waters of the state shall be monitored hourly. Discharged water shall be within +/- 5°F of the receiving waters.
4. Settling basins shall not be greater than four (4) feet in depth. The basin shall be constructed for sediment storage as outlined in Chapter 6, SEDIMENT BASIN OR SEDIMENT TRAP. The inlet and outlet for this basin shall be located at the furthest points of the storage. A floating outlet shall be used to ensure that settled solids do not re-suspend during the discharge process. The settling basin shall be cleaned out when the storage has been reduced by 50% of its original capacity.
5. All necessary National, State and Local permits shall be secured prior to discharging into waters of the state

**Geotextile Filter Bags** are an increasingly common way to remove sediment from dewatering discharge. Commonly discharge is pumped into a filter bag chosen for the predominant sediment size. Filter bags are manufactured products made typically from woven monofilament polypropylene textile (coarse materials, e.g. sands) or non-woven geotextile (silt/clays). They are single use products that must be replaced when they become clogged or half full of sediment.

While they may be useful, they are generally high flow products, which have limited ability to treat fine-grained sediments. Gravity drained filter bags should apply the following:

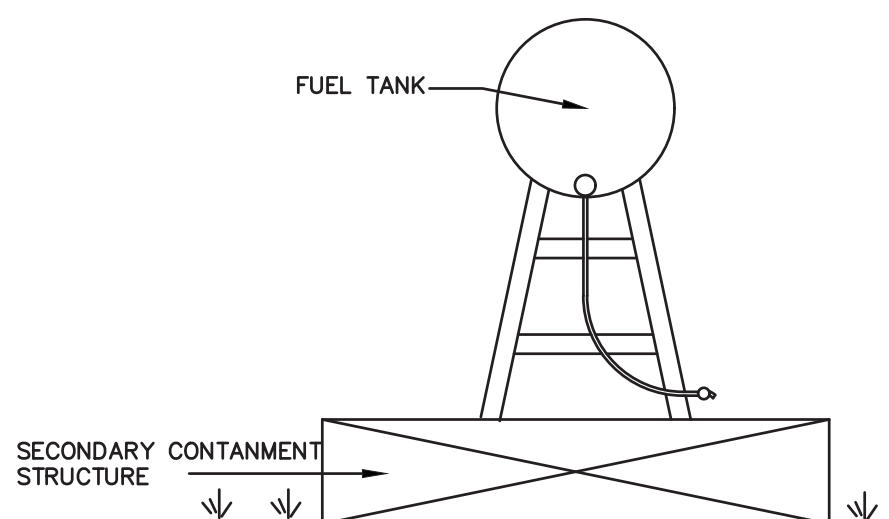
- They should place outside of a vegetated filter area and not in close proximity to the stream or water resource.
- They must sit on a relatively flat grade so that water leaving the bag does cause additional erosion. Placing the bag on a flat bed of aggregate will maximize the flow and useful surface area of the bag.
- They should be used in conjunction with a large vegetative buffer or a secondary pond or barrier

### Specifications for Dust Control

1. Vegetative Cover and/mulch - Apply temporary or permanent seeding and mulch to areas that will remain idle for over 21 days. Saving existing trees and large shrubs will also reduce soil and air movement across disturbed areas. See Temporary Seeding, Permanent Seeding, Mulching Practices, and Tree and Natural Area Protection practices.
2. Watering - Spray site with water until the surface is wet before and during grading and repeat as needed, especially on haul roads and other heavy traffic routes. Watering shall be done at a rate that prevents dust but does not cause soil erosion. Wetting agents shall be utilized according to manufacturers instructions.
3. Spray-On Adhesives - Apply adhesive according to the following table or manufacturers' instructions.
4. Stone - Graded roadways and other suitable areas will be stabilized using crushed stone or coarse gravel as soon as practicable after reaching an interim or final grade. Crushed stone or coarse gravel should be used as a permanent cover to provide control of soil emissions.
5. Barriers - Existing windbreak vegetation shall be marked and preserved. Snow fencing or other suitable barrier may be placed perpendicular to prevailing air currents at intervals of about 15 times the barrier height to control air currents and blowing soil.
6. Calcium Chloride - This chemical may be applied by mechanical spreader as loose, dry granules or flakes at a rate that keeps the surface moist but not so high as to cause water pollution or plant damage. Application rates should be strictly in accordance with suppliers' specified rates.
7. Operation and Maintenance - When Temporary Dust Control measures are used, repetitive treatment should be applied as needed to accomplish control.

Table 7.5.1 Adhesives for Dust Control

Adhesive	Water:Adhesive (Water)	Nozzle Type	Application Rate Gal./Ac.
Latex Emulsion	12:5:1	Fine	235
Resin in Water	4:1	Fine	300
Acrylic Emulsion (No-traffic)			
Acrylic Emulsion (No-traffic)	7:1	Coarse	450
Acrylic Emulsion (Traffic)	3.5:1	Coarse	350

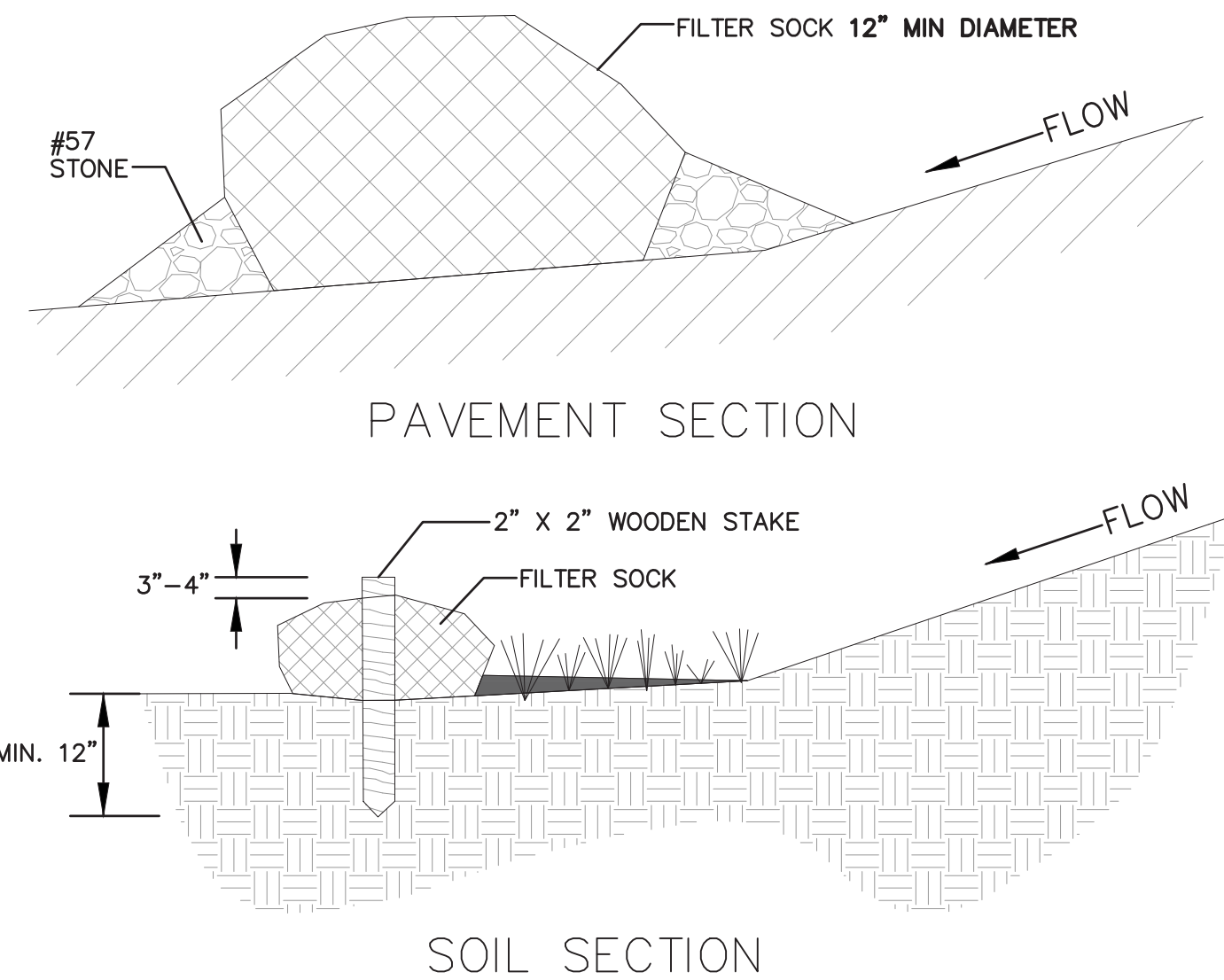


#### NOTES:

1. IMMEDIATELY CONTAIN AND CLEAN UP ANY SPILLS WITH ABSORBENT MATERIALS.
2. HAVE EQUIPMENT AVAILABLE IN FUEL STORAGE AREAS AND IN VEHICLES TO CONTAIN AND CLEAN UP ANY SPILLS THAT OCCUR.
3. PLACE ABOVE GROUND STORAGE TANKS AT LEAST 50 FEET AWAY FROM STREAMS, PONDS, DITCHES, STORM SEWERS, OR WETLANDS.
4. PROVIDE SECONDARY CONTAINMENT AROUND ABOVE GROUND TANKS. SECONDARY CONTAINMENT MUST BE ABLE TO CONTAIN 110% OF THE VOLUME OF THE FUEL STORAGE TANK AND SHOULD BE IMPERMEABLE TO THE MATERIALS BEING STORED. METHODS INCLUDE BERMS, DIKES, LINERS AND DOUBLE WALLED TANKS.
5. STORE AND MAINTAIN APPROPRIATE SPILL CLEANUP MATERIALS IN A LOCATION KNOWN TO ALL EMPLOYEES, NEAR THE FUELING OPERATION AND TRAIN EMPLOYEES ON PROPER SPILL CLEANUP PROCEDURES.
6. INSTRUCT EMPLOYEES IN ALL ASPECTS OF PROPER STORAGE AND HANDLING OF FUEL AND OTHER PETROLEUM PRODUCTS. INSTRUCT EMPLOYEES TO BE PRESENT DURING ALL FUEL TRANSFERS, AND IMMEDIATELY CLEAN UP SPILLS AND CONTAMINATED SOIL.
7. IMMEDIATELY REPORT SIGNIFICANT SPILLS OF 25 GALLONS OR MORE OR WHEN THERE IS AN IMPACT OR POTENTIAL IMPACT ON STREAMS, PONDS, DITCHES, STORM SEWERS, OR WETLANDS.
8. INSPECT FUELING AREAS AND STORAGE TANKS REGULARLY FOR DAMAGES OR LEAKS.
9. FUEL STORAGE AREAS MUST BE KEPT SECURE WHEN NOT IN USE.

#### FUEL CONTAINMENT DIKE DETAIL

NOT TO SCALE



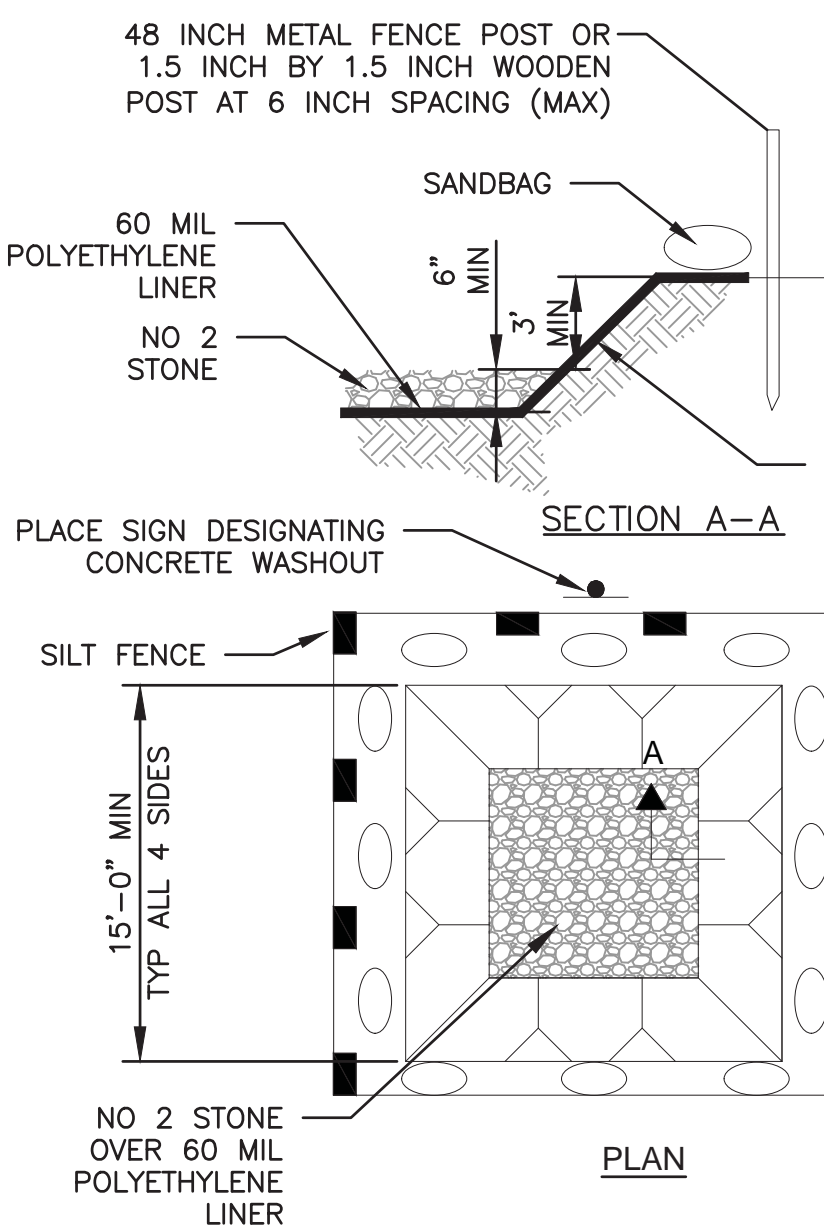
1. MATERIALS - COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-COMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A PARTICLE RANGING FROM 3/8" TO 2".
2. FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
4. FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.

#### MAINTENANCE:

6. ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
7. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OFF THE PRACTICE.
8. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
9. REMOVAL - FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS.

#### FILTER SOCK DETAIL

NOT TO SCALE

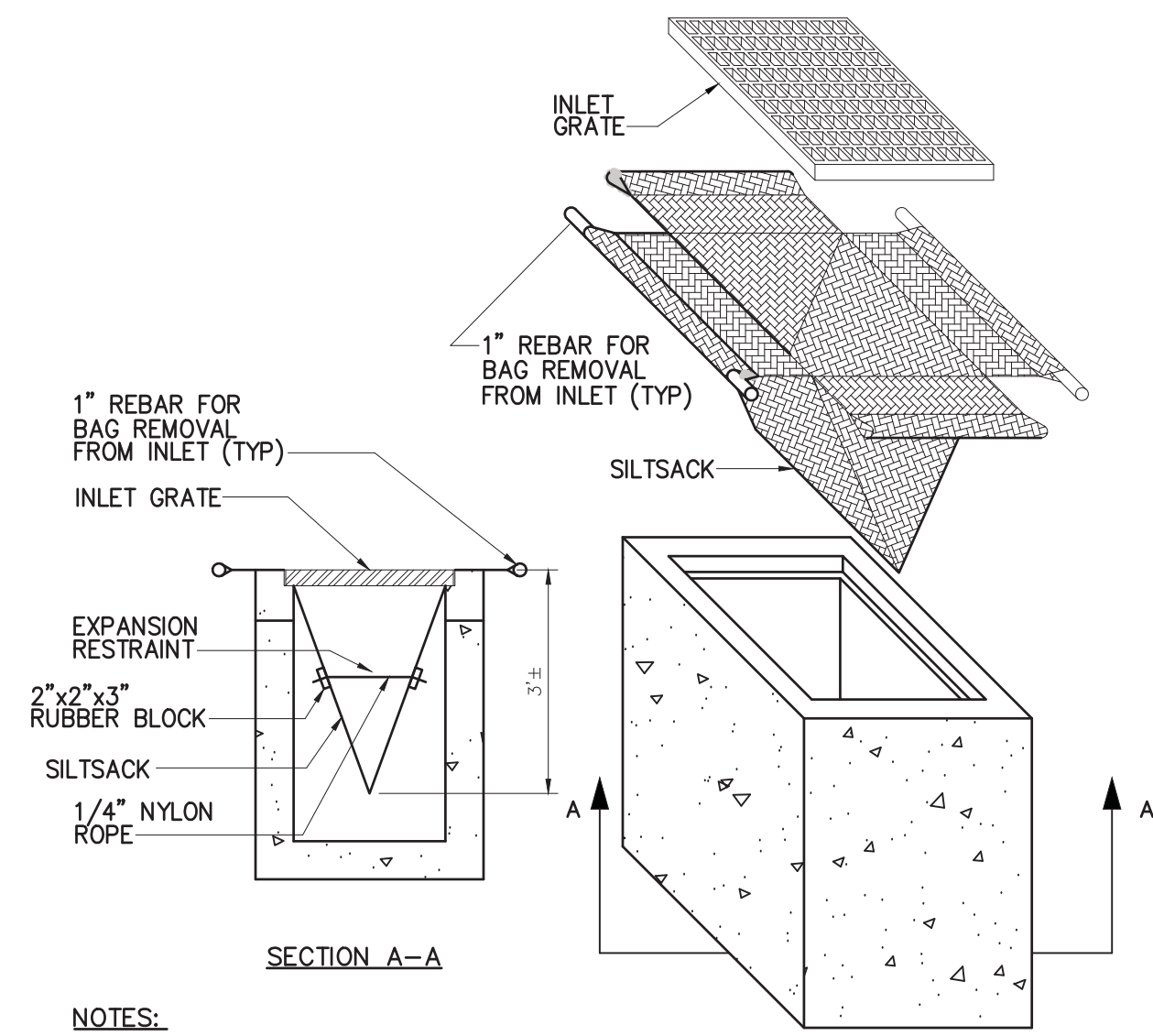


#### CONCRETE WASHOUT FACILITY

NOT TO SCALE

#### NOTES:

1. TRAIN EMPLOYEES AND SUBCONTRACTORS SO THEY DO NOT DUMP CONCRETE WASHOUT ON THE GROUND OR ALLOW IT TO ENTER STORM DRAINS, OPEN DITCHES, STREETS, AND WATERWAYS.
2. KEEP ALL WASHOUT FACILITIES AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, AND WATER BODIES AND INSTALL SIGNS INSTRUCTING OPERATORS TO USE THE FACILITY.
3. A TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE LARGE ENOUGH TO CONTAIN ALL LIQUIDS AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. (IT IS ESTIMATED THAT 7 GALLONS OF WASH WATER IS USED TO WASH 1 TRUCK CHUTE AND 50 GALLONS ARE USED TO WASH OUT THE HOPPER OF A CONCRETE TRUCK)
4. INSPECT THE CONTAINMENT AREAS DAILY TO INSURE THE SIDEWALLS ARE INTACT, LEAKS ARE ABSENT, AND ADEQUATE CAPACITY REMAINS.
5. WASHOUT FACILITIES MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY FOR USE, ONCE THE WASHOUT CONTAINER IS 75% FULL.
6. COVER THE CONTAINMENT AREA BEFORE RAIN STORMS TO PREVENT OVERFLOWS.
7. HARDEN SOLIDS CANS BE CRUSHED AND HAULED AWAY FOR RECYCLING OR DISPOSAL IN ACCORDANCE WITH LOCAL CONSTRUCTION WASTE MANAGEMENT REGULATIONS.
8. PLACE NEW PLASTIC IN THE CONTAINMENT AREA EACH TIME IT IS CLEANED AND COMPLETE OTHER NEEDED REPAIRS BEFORE USING THE CONTAINMENT FACILITY AGAIN.



#### SECTION A-A

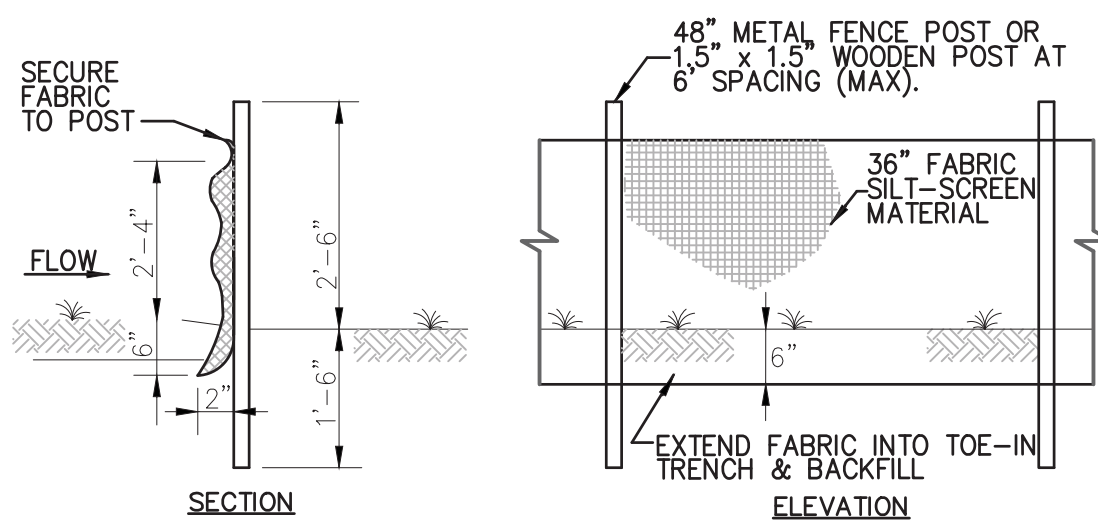
NOT TO SCALE

NOTES:

1. EXACT DIMENSIONS TO BE DETERMINED IN FIELD BASED ON ACTUAL INLET DIMENSIONS. SILTSACK BY ATLANTIC CONSTRUCTION FABRICS, INC. OR APPROVED EQUAL.
2. SEDIMENT MUST BE REMOVED AFTER EACH STORM EVENT.

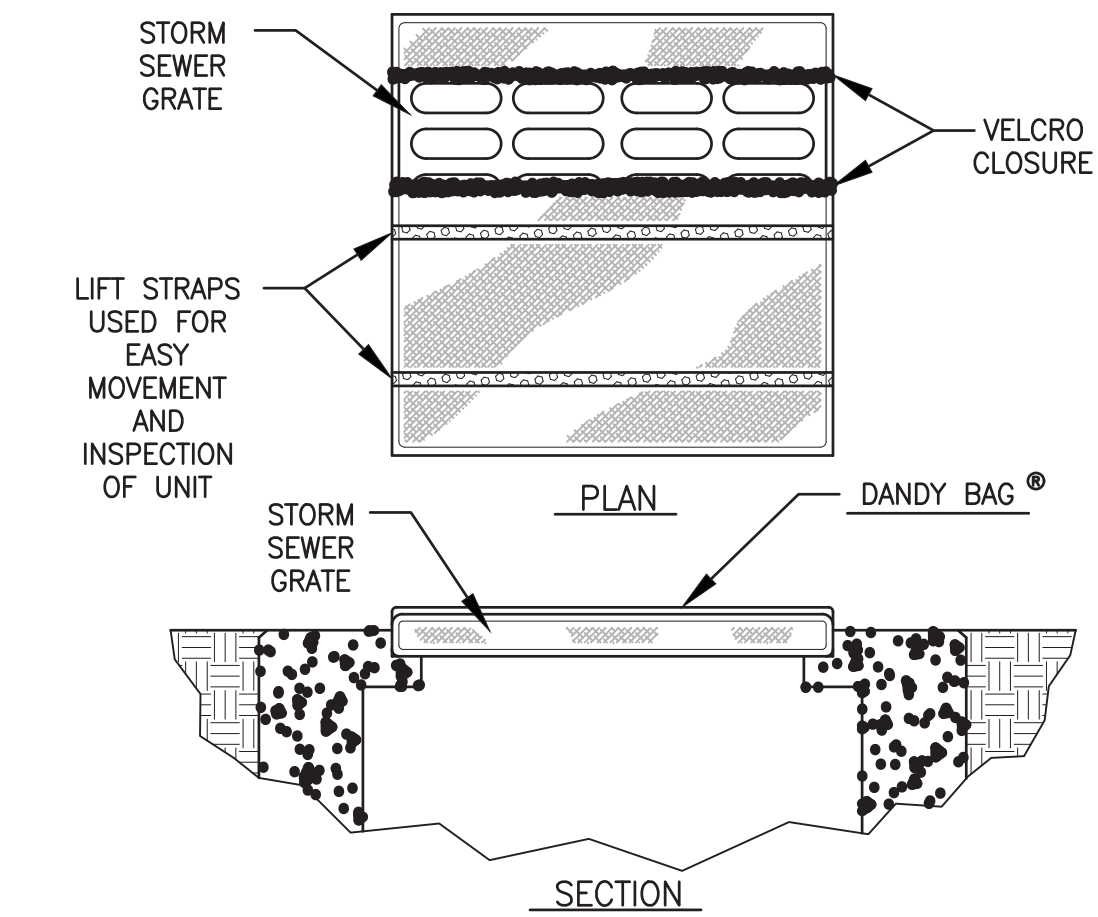
#### SILT SACK INLET PROTECTION DETAIL

NOT TO SCALE



#### SILT FENCE DETAILS

NOT TO SCALE



#### SPECIFICATIONS

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kPa (lbs)	0.51 (115) X 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	5907 (145)
Permittivity	ASTM D 4491	Sec⁻¹	2.1

#### NOTES:

THE DANDY BAG WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE INCLUDED SPECIFICATIONS:

ALL DANDY BAGS CAN BE ORDERED WITH OPTIONAL OIL ABSORBENT PILLOWS

#### DANDY BAG INLET PROTECTION

NOT TO SCALE

# HKS

OWNER  
UNIVERSITY HOSPITALS  
11100 EUCLID AVE  
CLEVELAND, OH 44100

ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

M&P ENGINEER  
OSBORN ENGINEERING  
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SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT

AECOM  
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SUITE 500  
CLEVELAND, OH 44144

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OSBORN ENGINEERING  
1100 SUPERIOR AVE  
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CLEVELAND, OH 44114

STRUCTURAL ENGINEERING  
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2217 EAST 9TH STREET  
SUITE 350  
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LOW VOLTAGE  
ROSS & BARUZZINI / ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

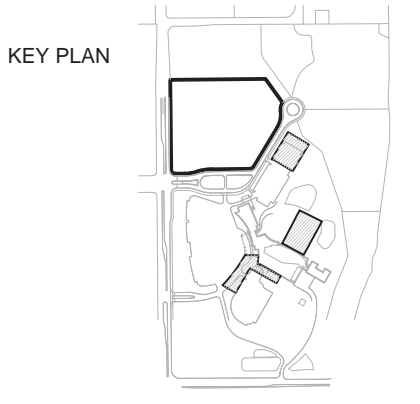
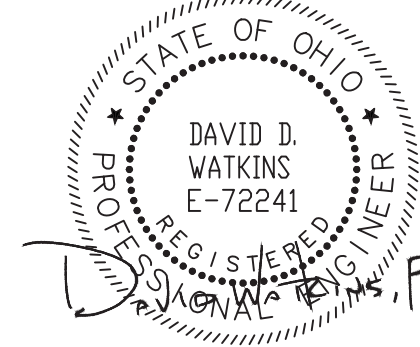
## AHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS



University  
Hospitals

HELI-PAD CONSULTANT  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



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1	PERMIT	03 / 30 / 2020	
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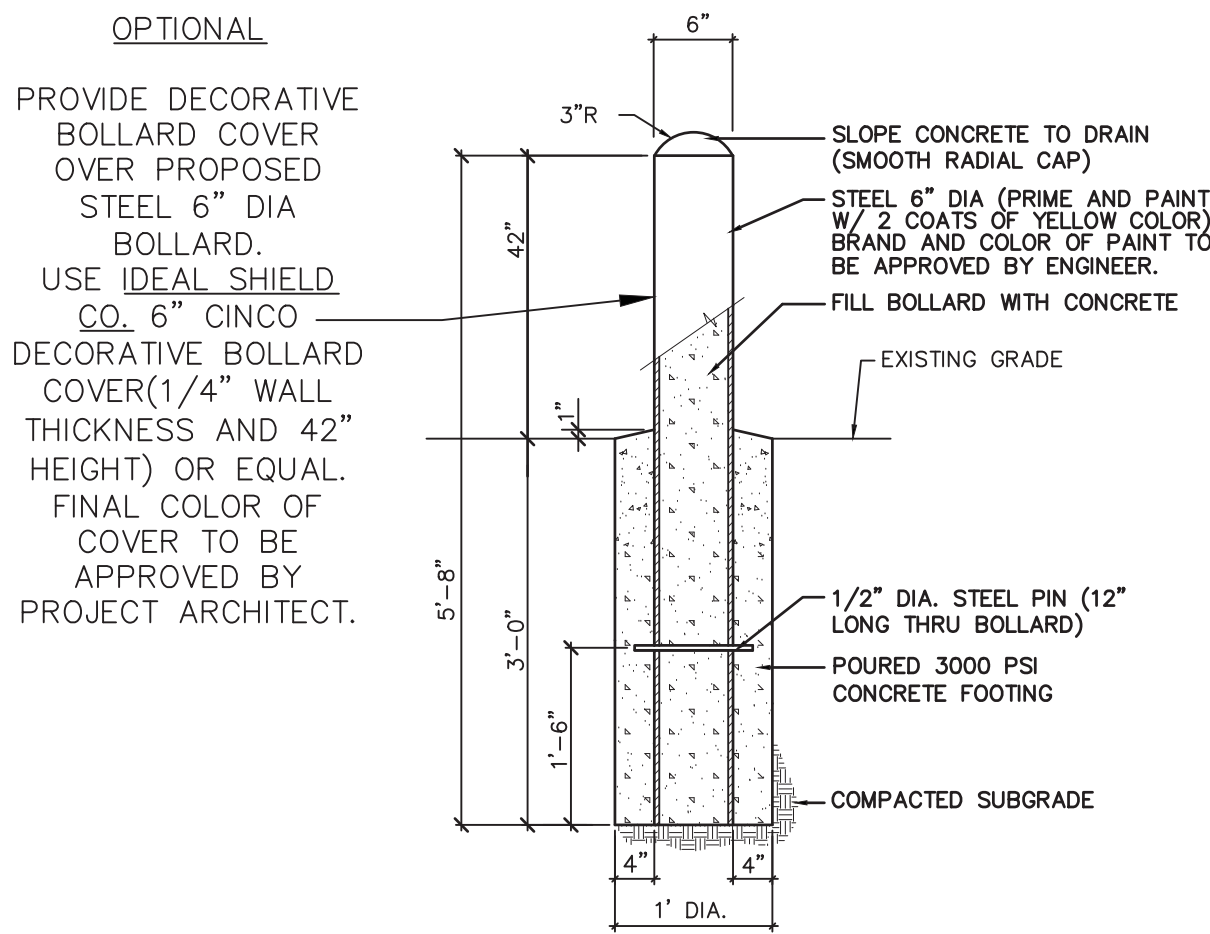
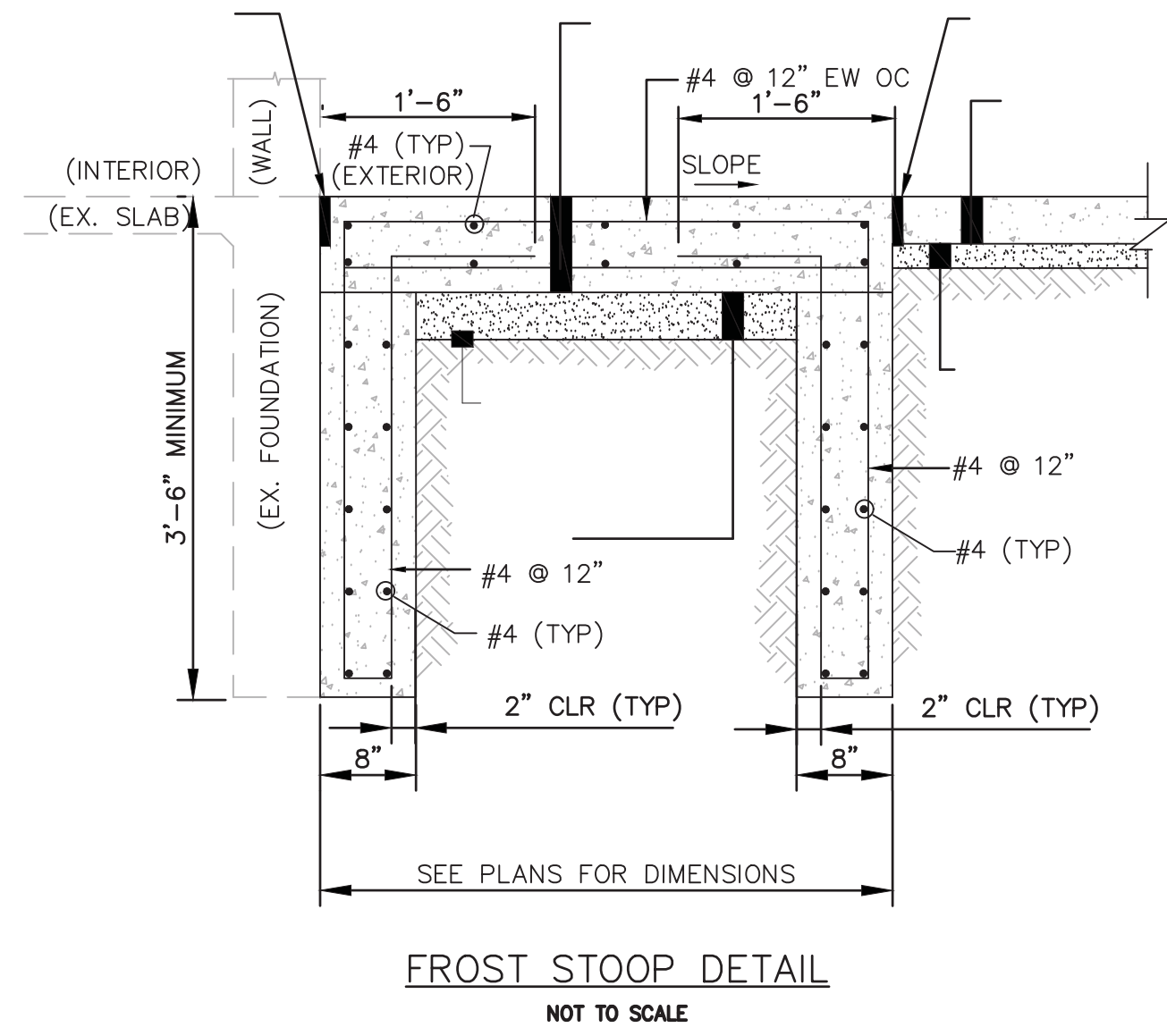
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DATE  
03/30/2020  
ISSUE  
PERMIT

SHEET TITLE  
SWPP PLAN  
DETAILS

SHEET NO.

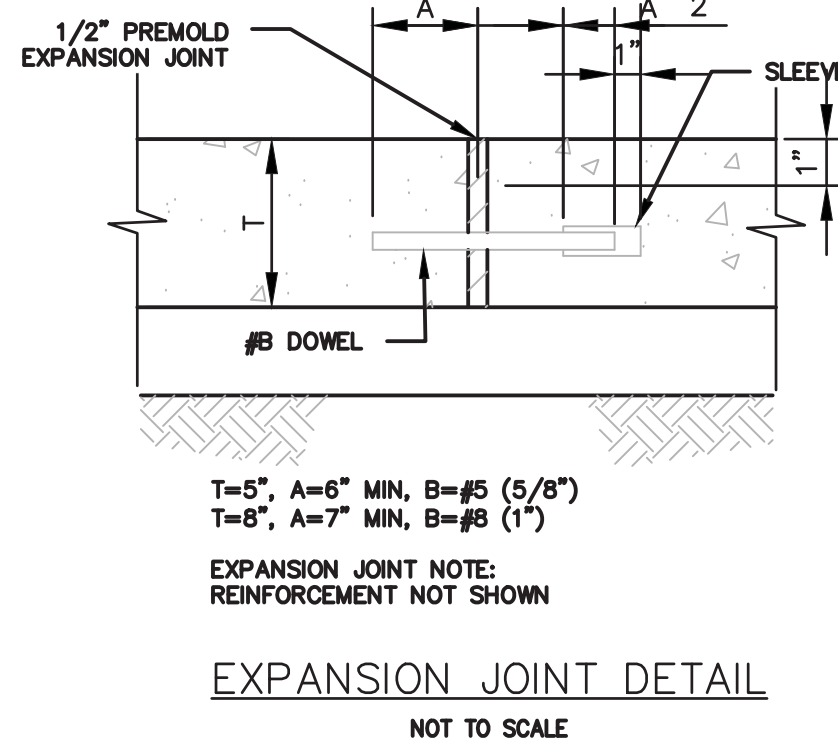
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3/25/2020 9:25 PM Setaak Chinnappan

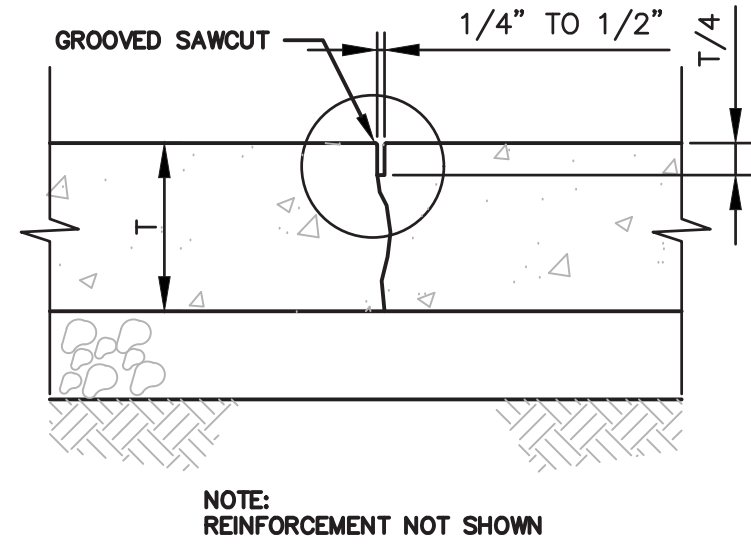


- NOTES:
- USE 3/8" x 4" EXPANSION JOINT WHEN CONCRETE ABUTS RIGID PAVEMENT.
  - USE READY-MIX CONCRETE WITH 3,000 PSI STRENGTH AT 28 DAYS.
  - TOOL ALL EXPOSED EDGES AND JOINTS TO 1/4" RADIUS.
  - PAINT EXPOSED PIPE (ENTIRE PIPE FOR REMOVEABLE) WITH TWO COATS OF SAFETY YELLOW ENAMEL.

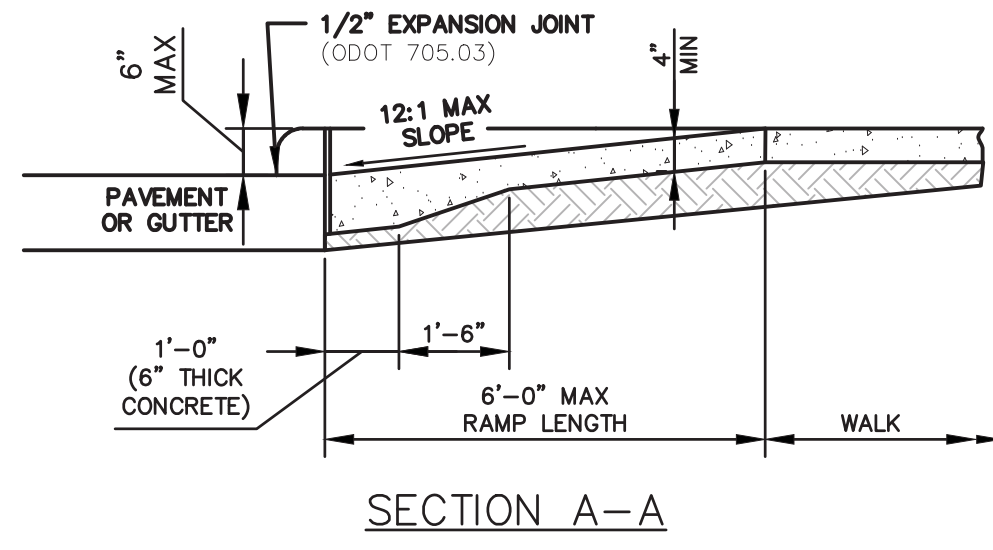
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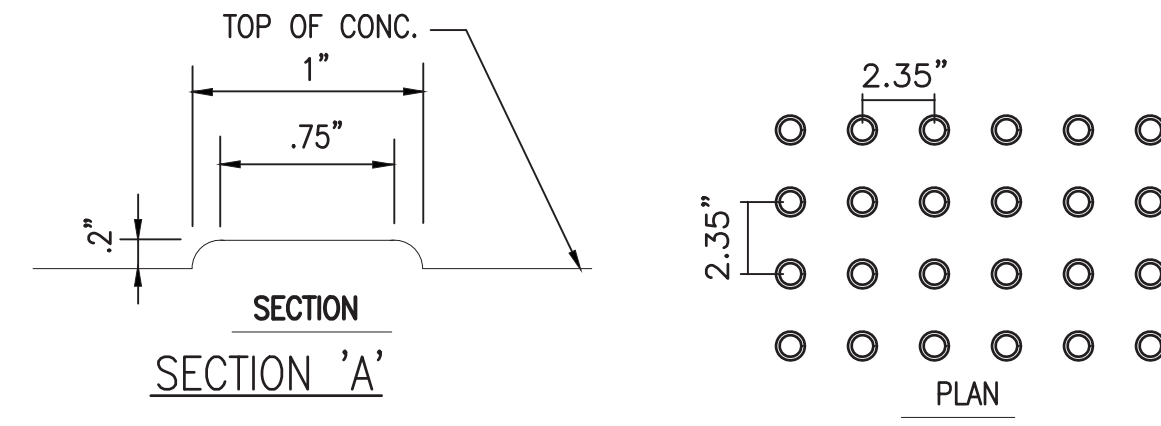
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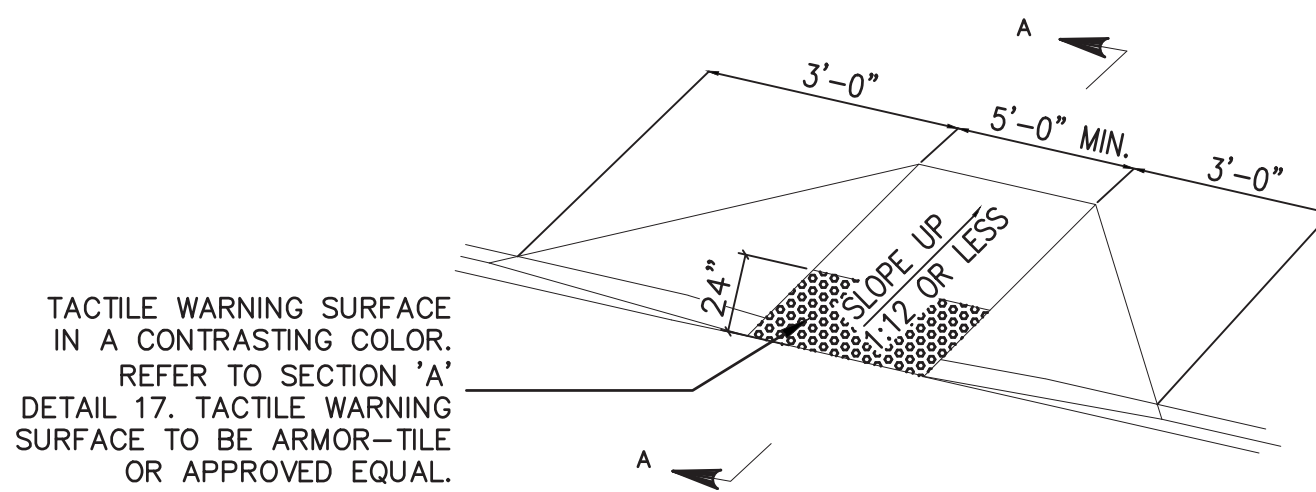
CONTROL JOINT DETAIL  
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SECTION A-A  
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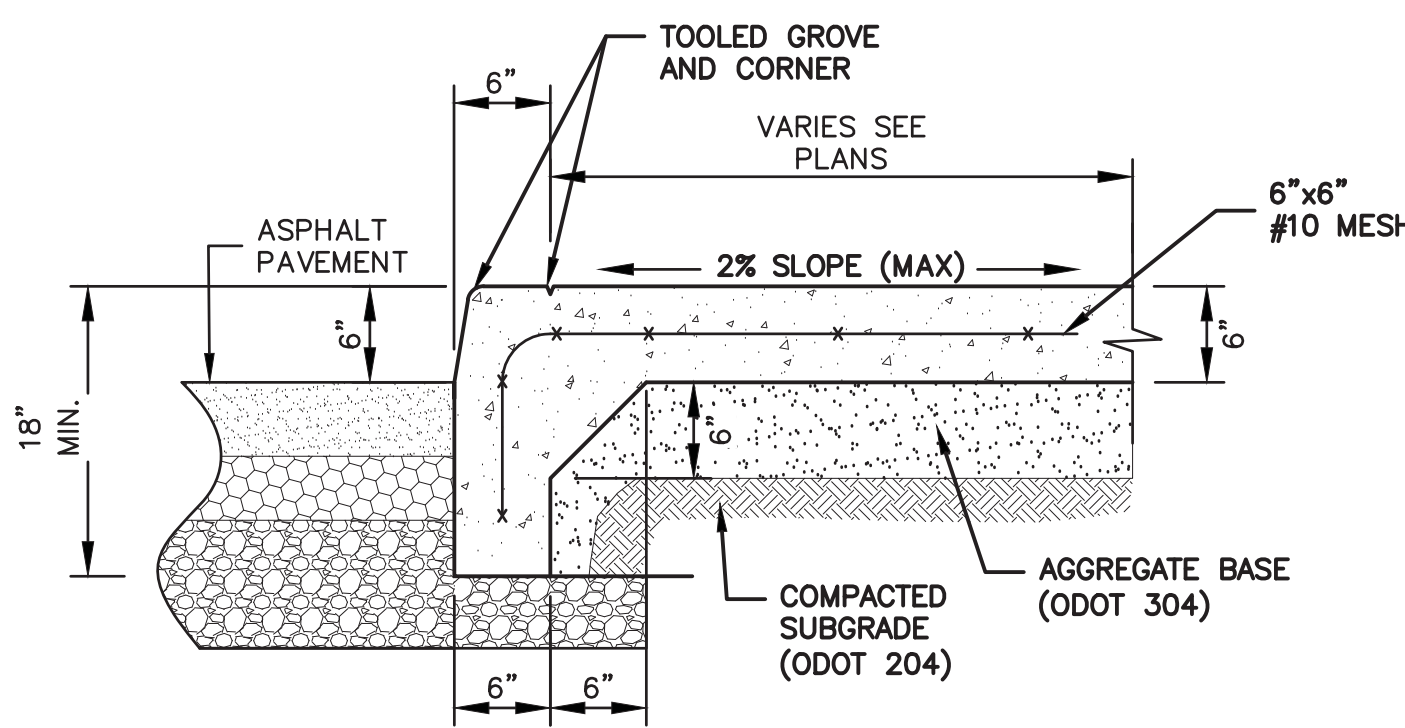


NOTE: RAMP WIDTH IS TO BE 5' UNLESS OTHERWISE NOTED ON THE PLAN.

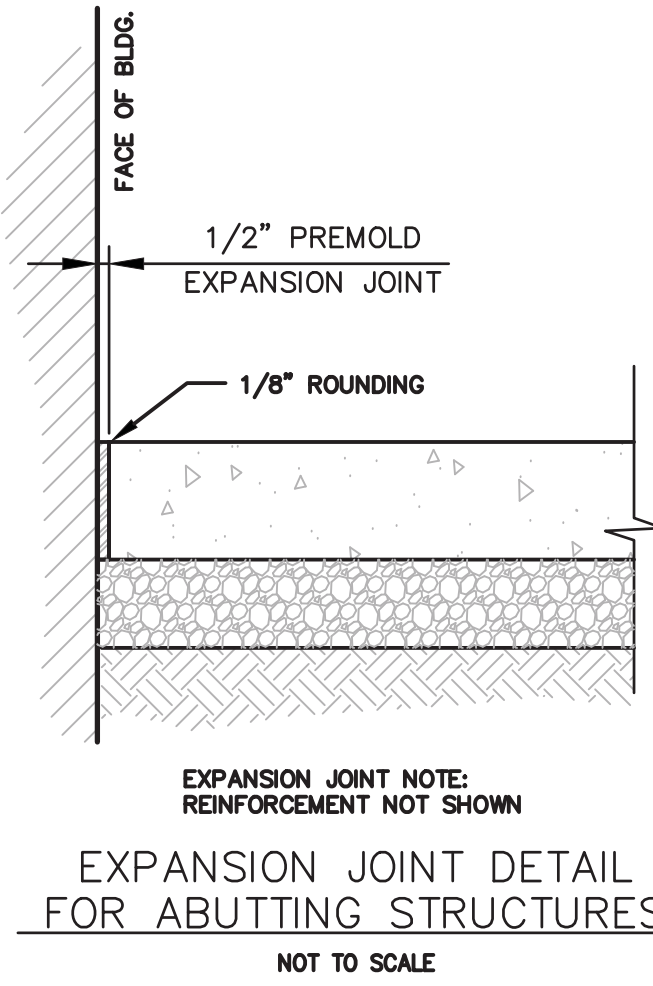


PERPENDICULAR CURB RAMP DETAIL  
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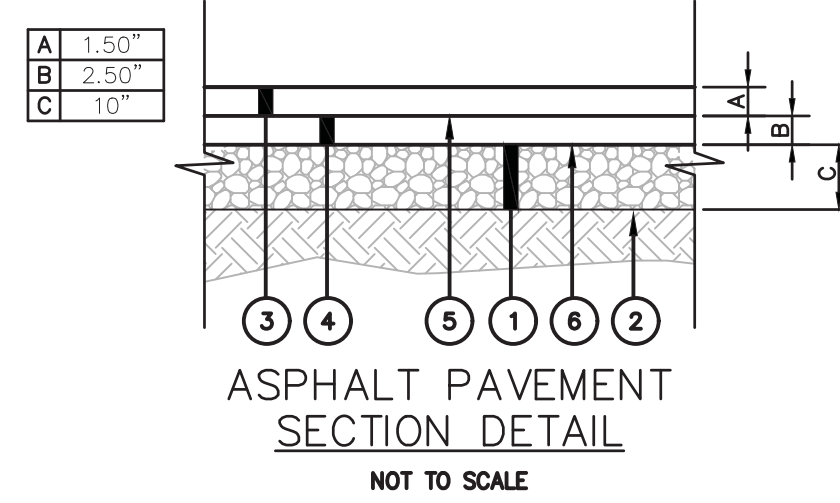
- NOTES:
- CONTRACTOR SHALL CONSTRUCT RAMP PER CURRENT ADA STANDARDS.
  - CONTRACTOR SHALL CONSTRUCT DETECTABLE WARNINGS WHICH COMPLY WITH FEDERAL REGULATIONS.
  - TRUNCATED DOMES FOR ALL CURB RAMPS SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND CURRENT ADA GUIDELINES
  - INSTALL TACTILE WARNING TEXTURE AT ALL EXTERIOR RAMPED WALKS THAT EXCEED 1:20 SLOPE, IN A BAND 2'-0" DEEP x WIDTH OF WALK. REFER TO PROJECT MANUAL



TYPICAL COMBINATION CURB & SIDEWALK  
NOT TO SCALE

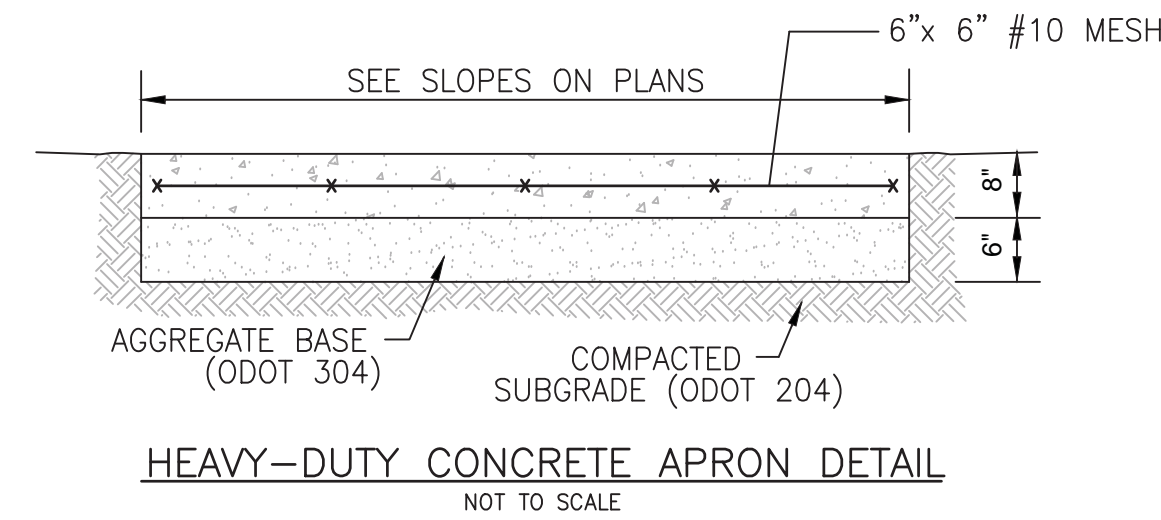


EXPANSION JOINT DETAIL FOR ABUTTING STRUCTURES  
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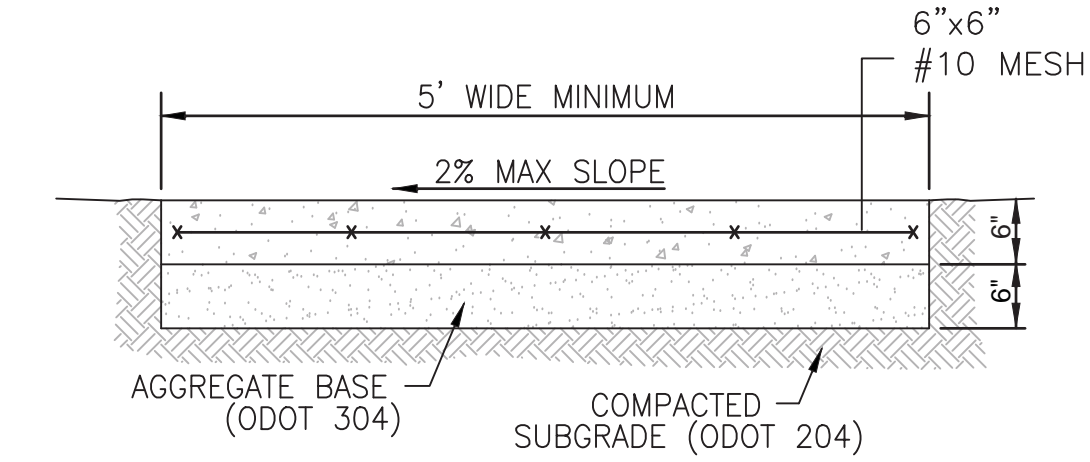


ASPHALT PAVEMENT SECTION DETAIL  
NOT TO SCALE

- ASPHALT PAVEMENT NOTES
- ALL BASE MATERIAL TO BE COMPACTED BY USE OF MECHANICAL TAMPER IN LAYERS NOT TO EXCEED 3 INCHES (3").
  - COMPACT SUBGRADE PER ODOT 204 REQUIREMENTS.
  - REPAIR SUBGRADE AS NEEDED.
  - SEAL ALL JOINTS (INCLUDING TOP OF EXPANSION JOINTS) WITH 1" MIN. DEPTH ODOT 705.04 JOINT SEALER.
  - ASPHALT PAVING WORK AND MATERIALS TO BE AS SPECIFIED.
  - CONCRETE PAVING WORK AND MATERIALS TO BE AS SPECIFIED.
  - PAVEMENT SECTION TO BE VERIFIED WITH GEOTECHNICAL ENGINEER AND APPROVED BY OWNER PRIOR TO INSTALLATION.



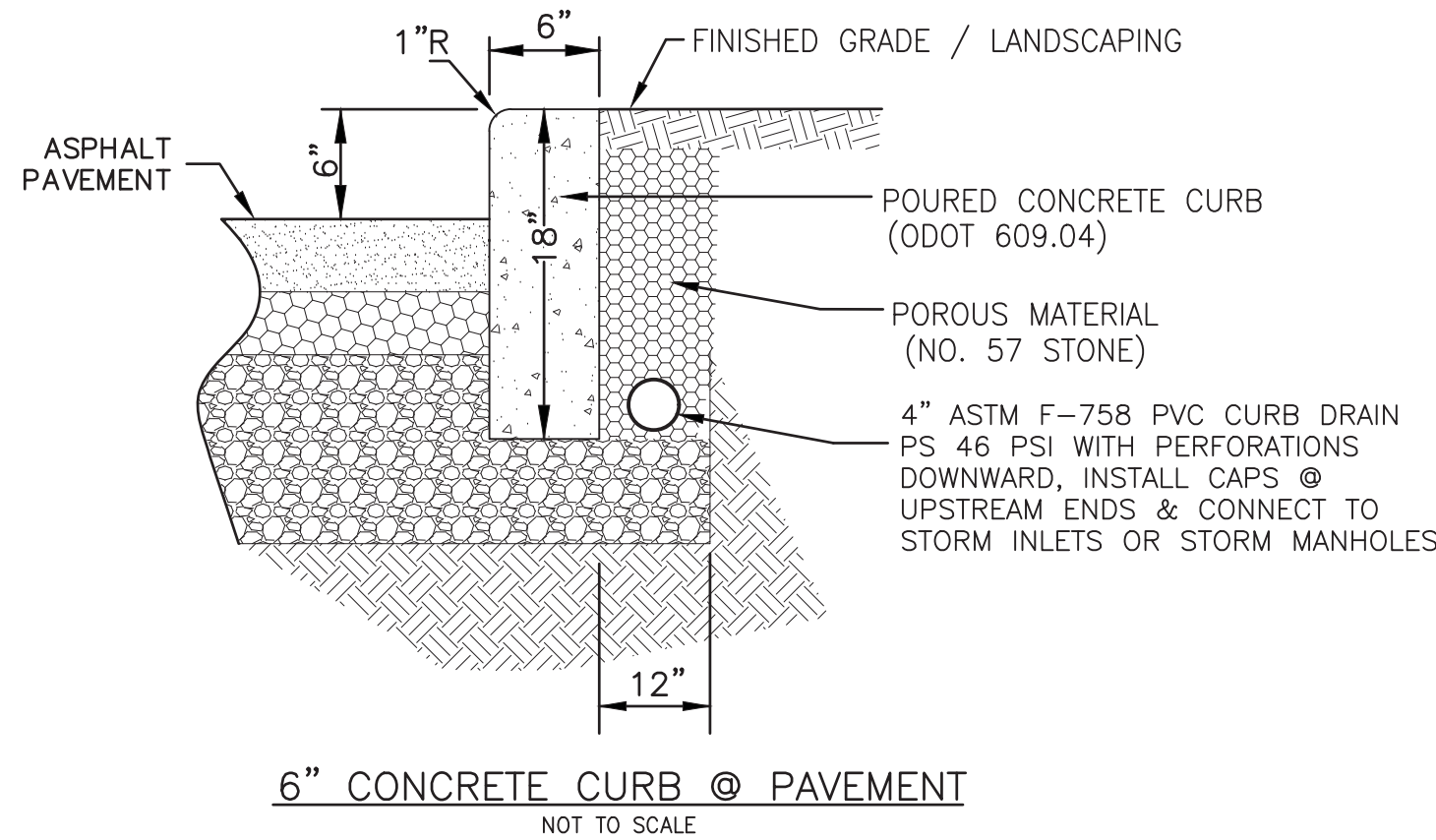
HEAVY-DUTY CONCRETE APRON DETAIL  
NOT TO SCALE



CONCRETE SIDEWALK DETAIL OUTSIDE OF RIGHT-OF-WAY  
NOT TO SCALE

CONCRETE SIDEWALK NOTES

- COMPACT SUBGRADE TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT.
- WALK JOINTS SHALL BE LOCATED AT ROADWAY JOINTS & CONSTRUCT CONTRACTION JOINTS (IMPRESSED OR 1/2" SAWCUT) AT 5' MAXIMUM INTERVALS. SAW JOINTS AS SOON AS POSSIBLE AFTER PLACING CONCRETE. CONSTRUCT EXPANSION JOINTS 1/2" PRE FORMED EXPANSION JOINT MATERIAL O.D.O.T. #705.03 AT MAXIMUM 50' INTERVALS OR AS DIRECTED BY ENGINEER.
- USE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ODOT #705.03) 1/2" BELOW FINISHED GRADE JOINT SEALER O.D.O.T. 705.04 @ ASPHALT.



6" CONCRETE CURB @ PAVEMENT  
NOT TO SCALE

HKS

OWNER  
UNIVERSITY HOSPITALS  
11100 EUCLID AVE  
CLEVELAND, OH 44100

ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

MEP ENGINEER  
OSBORN ENGINEERING  
1100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT  
AECOM

1300 EAST 9TH STREET  
SUITE 500  
CLEVELAND, OH 44114

CIVIL ENGINEERING  
OSBORN ENGINEERING  
1100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

STRUCTURAL ENGINEERING  
BARBER & HOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 350  
CLEVELAND, OH 44115

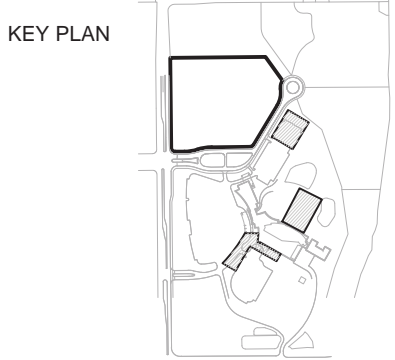
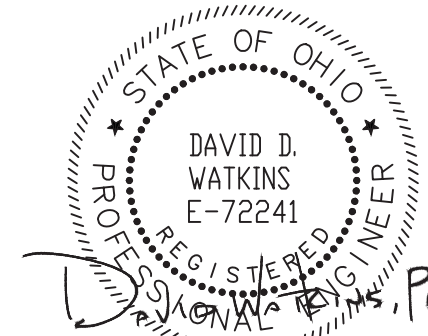
LOW VOLTAGE  
ROSS & BARUZZINI / ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS



HELI-PAD CONSULTANT  
FEC HELIPORTS  
5286 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



REVISION NO.	DESCRIPTION	DATE
1	PERMIT	03 / 30 / 2020
2	P & Z / ARB	03 / 30 / 2020

HKS PROJECT NUMBER  
21551.000  
DATE  
03/30/2020  
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PERMIT

SHEET TITLE  
CONSTRUCTION DETAILS

SHEET NO.

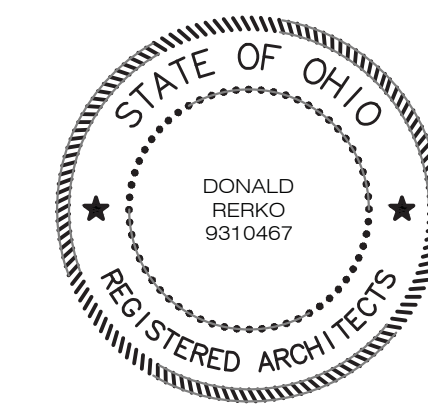
C7.00

# AHUJA MEDICAL CENTER PHASE 2 ENABLING PROJECTS

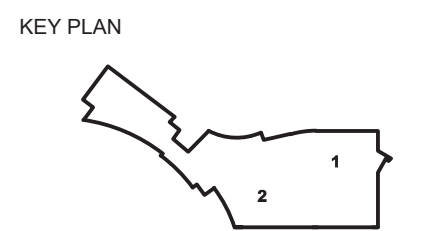


HELIPAD CONSULTANTS  
FEC HELIPORTS  
5208 RIVER ROAD  
CINCINNATI, OHIO 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



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Expiration Date 12/31/2021



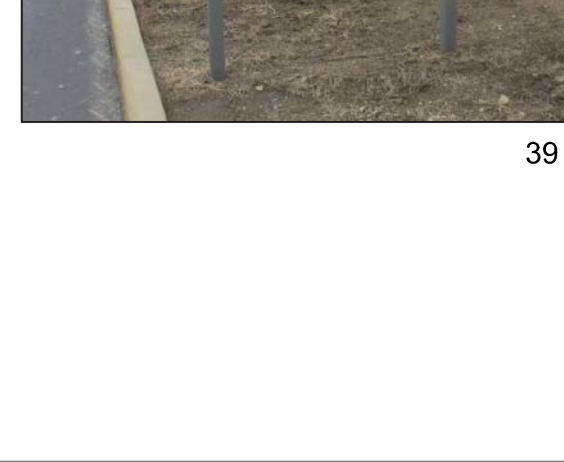
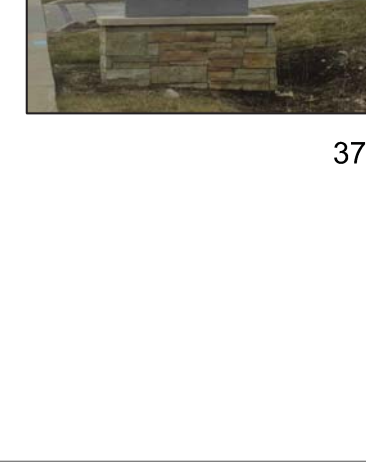
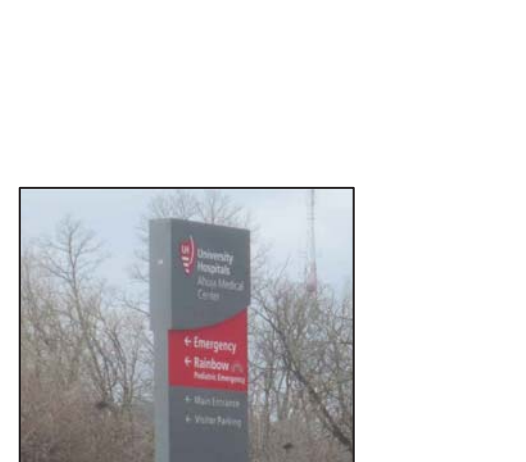
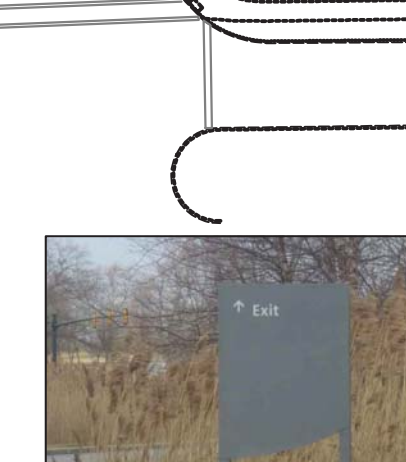
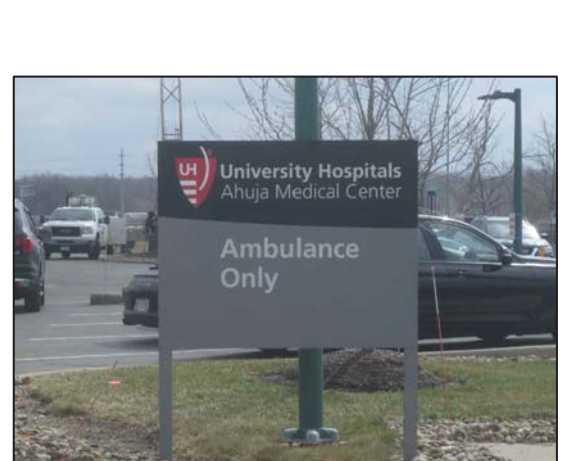
REVISION NO.	DESCRIPTION	DATE
1	PERMIT	3/30/2020
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HKS PROJECT NUMBER  
21551.000

DATE  
3/30/2020

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SHEET TITLE  
SITE SIGNAGE  
EXISTING  
CONDITIONS &  
REMOVALS  
SHEET NO.



OWNER  
UNIVERSITY HOSPITALS  
11100 EUCLID AVE  
CLEVELAND, OH 44100

ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

MEP ENGINEER  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT  
AECOM  
1300 EAST 9TH STREET  
SUITE 500  
CLEVELAND, OH 44144

CIVIL ENGINEERING  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

STRUCTURAL ENGINEERING  
BARBER & HOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 350  
CLEVELAND, OH 44115

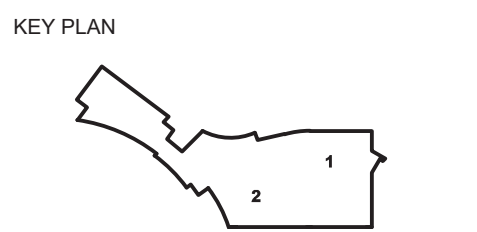
LOW VOLTAGE  
ROSS & BARUZZINI / EDI  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS



HELIPAD CONSULTANTS  
FEC HELIPORTS  
5288 RIVER ROAD  
CINCINNATI, OHIO 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



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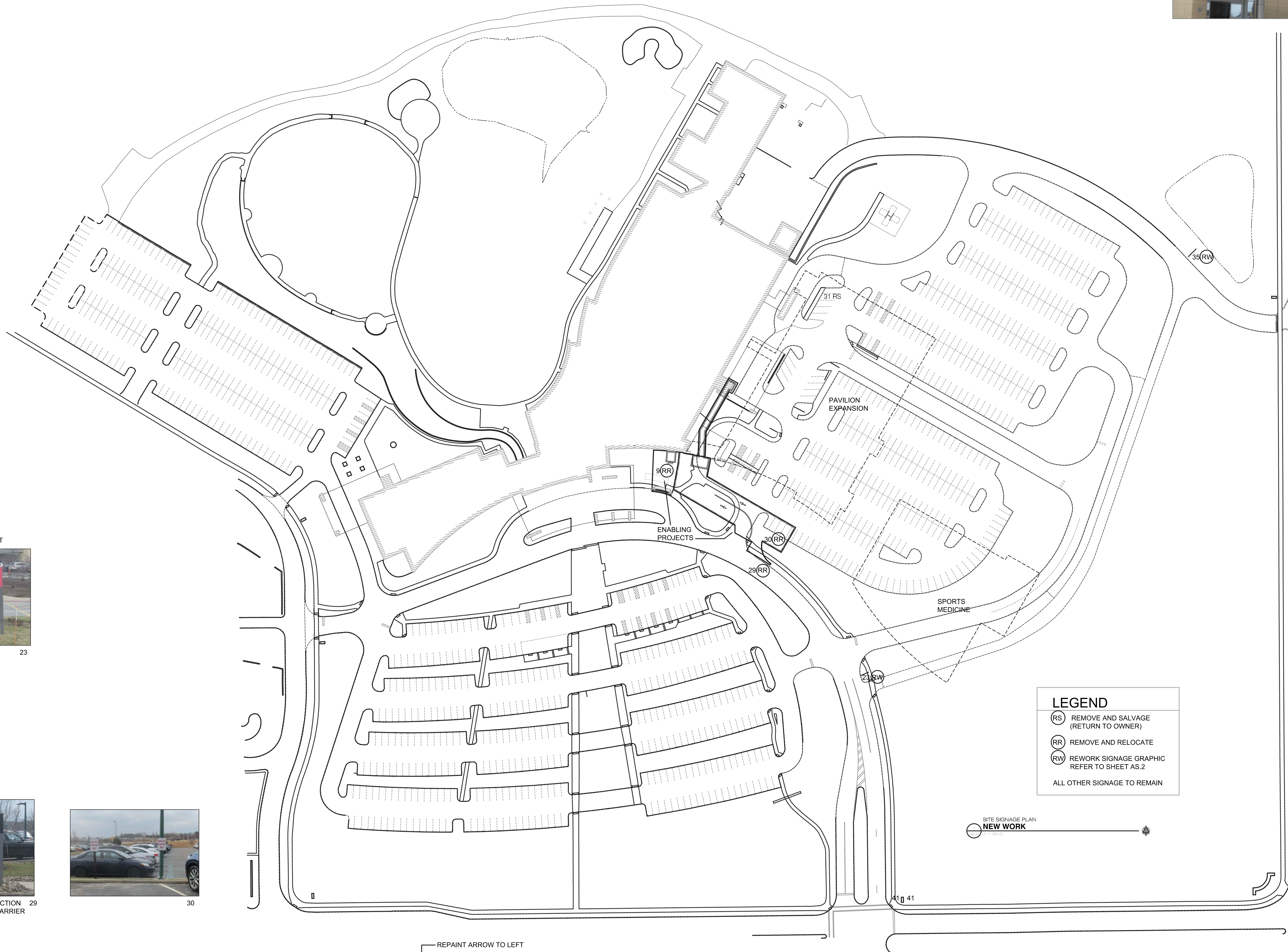
SHEET TITLE  
SITE SIGNAGE  
NEW WORK

SHEET NO.

AS.2



9



**LEGEND**

- (RS) REMOVE AND SALVAGE (RETURN TO OWNER)
- (RR) REMOVE AND RELOCATE
- (RW) REWORK SIGNAGE GRAPHIC REFER TO SHEET AS.2
- ALL OTHER SIGNAGE TO REMAIN

SITE SIGNAGE PLAN  
**NEW WORK**  
1" = 50'-0"



23



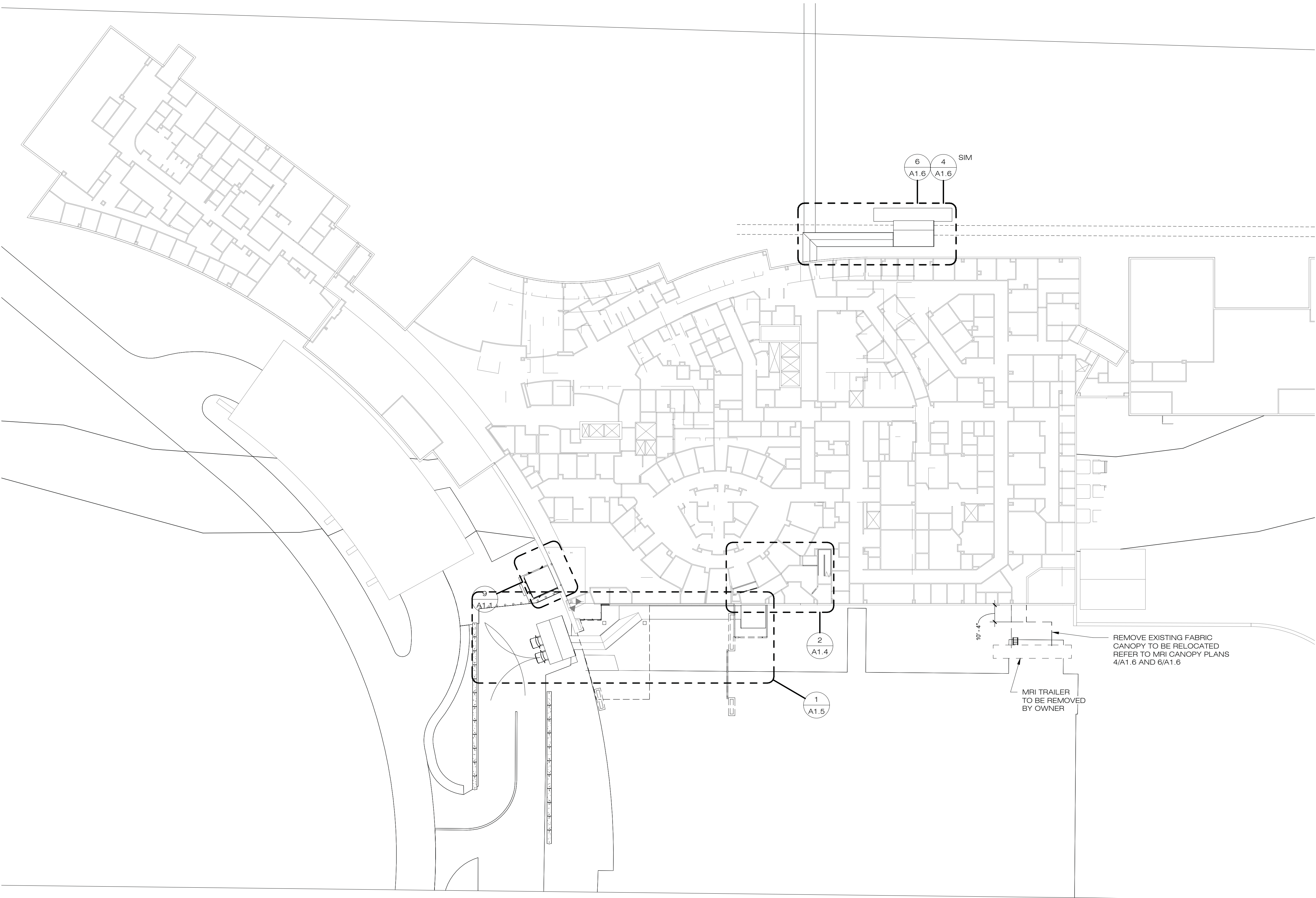
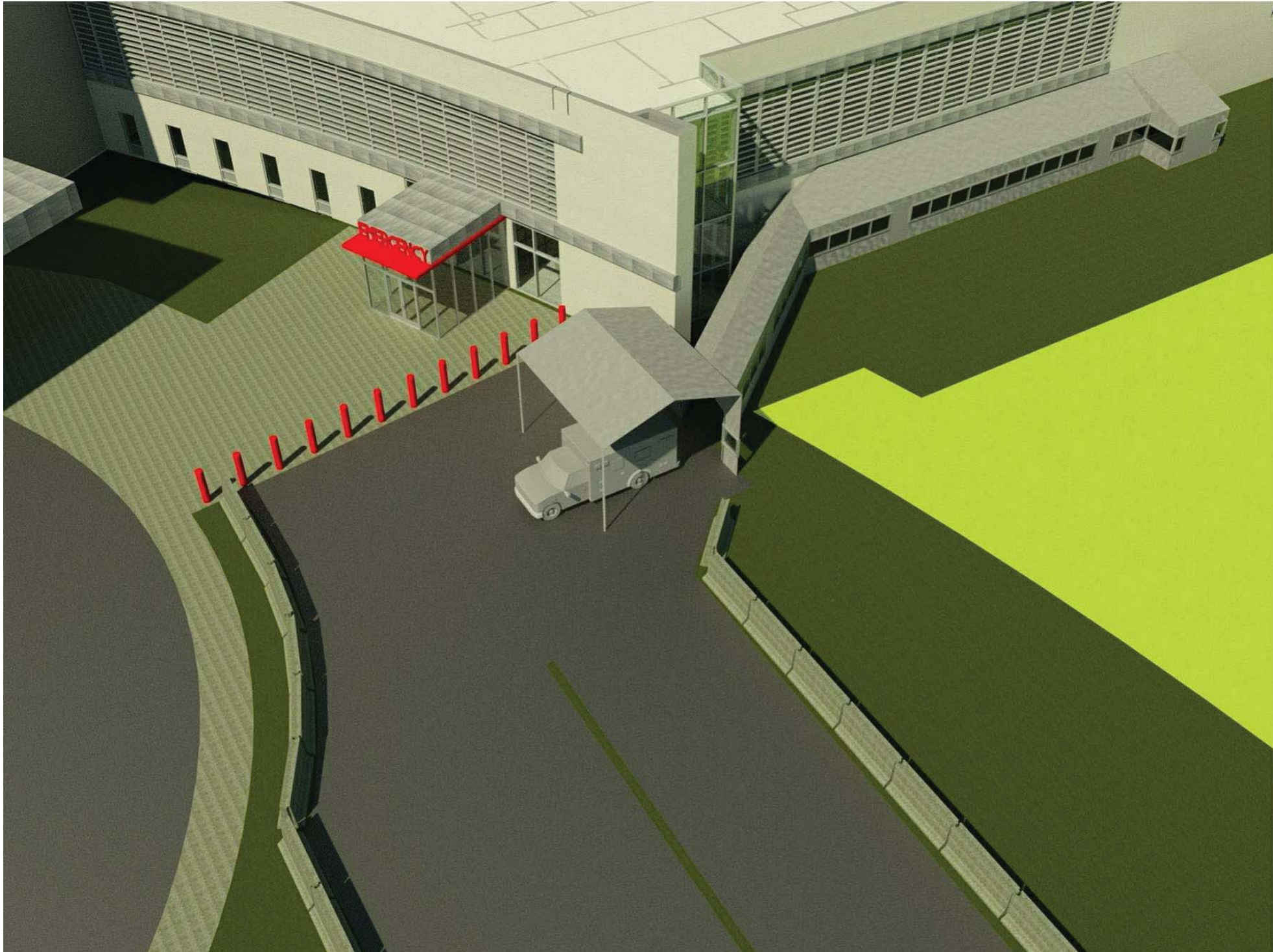
MOUNT SIGN ON CONSTRUCTION  
FENCING ABOVE JERSEY BARRIER



30



35



**1 COMPOSITE PLAN 1ST FLOOR/ GARDEN LEVEL**  
1/32" = 1'-0"

HKS

**OWNER**  
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11100 EUCLID AVE  
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HKS ARCHITECTS, P.C.  
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**ENABLING ARCHITECT**  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
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**MEP ENGINEER**  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
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**LANDSCAPE ARCHITECT**  
AECOM  
1300 EAST 9TH STREET  
SUITE 500  
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OSBORN ENGINEERING  
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SUITE 350  
CLEVELAND, OH 44115

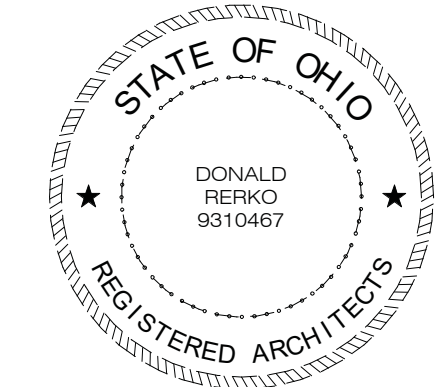
**LOW VOLTAGE**  
ROSS & BARUZZI, ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**



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FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

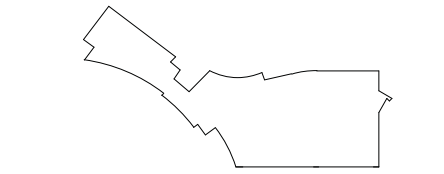
**CONSTRUCTION MANAGEMENT**  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



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#9310467 Expiration Date  
12/31/2021

*[Signature]*

KEY PLAN



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**21551.00**

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SHEET TITLE

**COMPOSITE PLAN**

SHEET NO.

**A0.2**

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CLEVELAND, OH 44100

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HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

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AECOM  
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150 BROADWAY, 10TH FLOOR  
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**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**



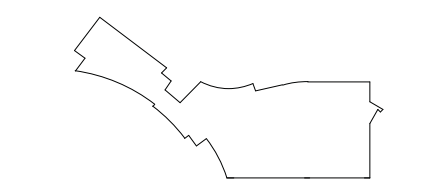
**HELI-PAD CONSULTANT**  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

**CONSTRUCTION MANAGEMENT**  
GILBANE  
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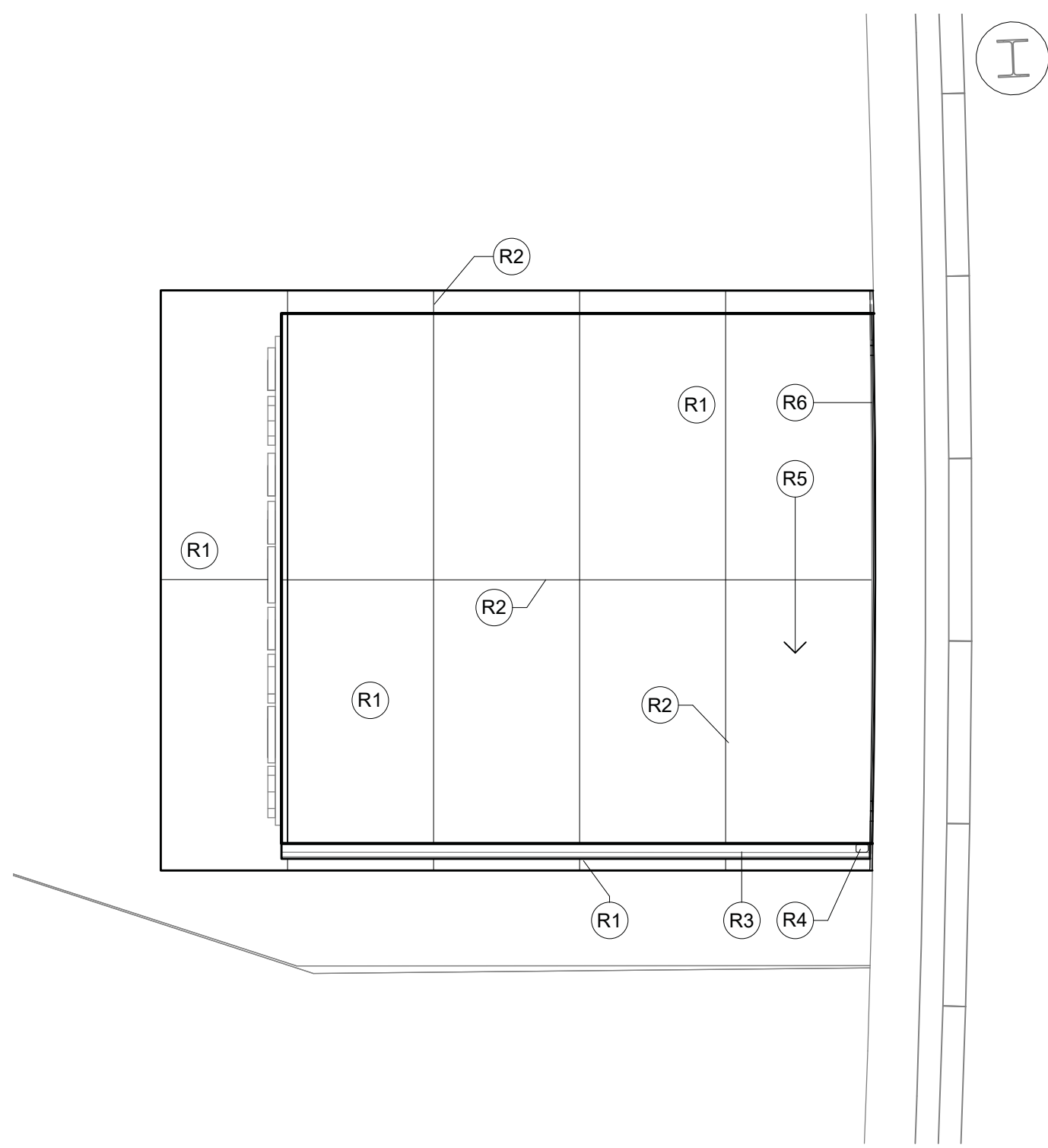
SHEET TITLE

**ED VESTIBULE  
PLANS/ELEVATIONS**

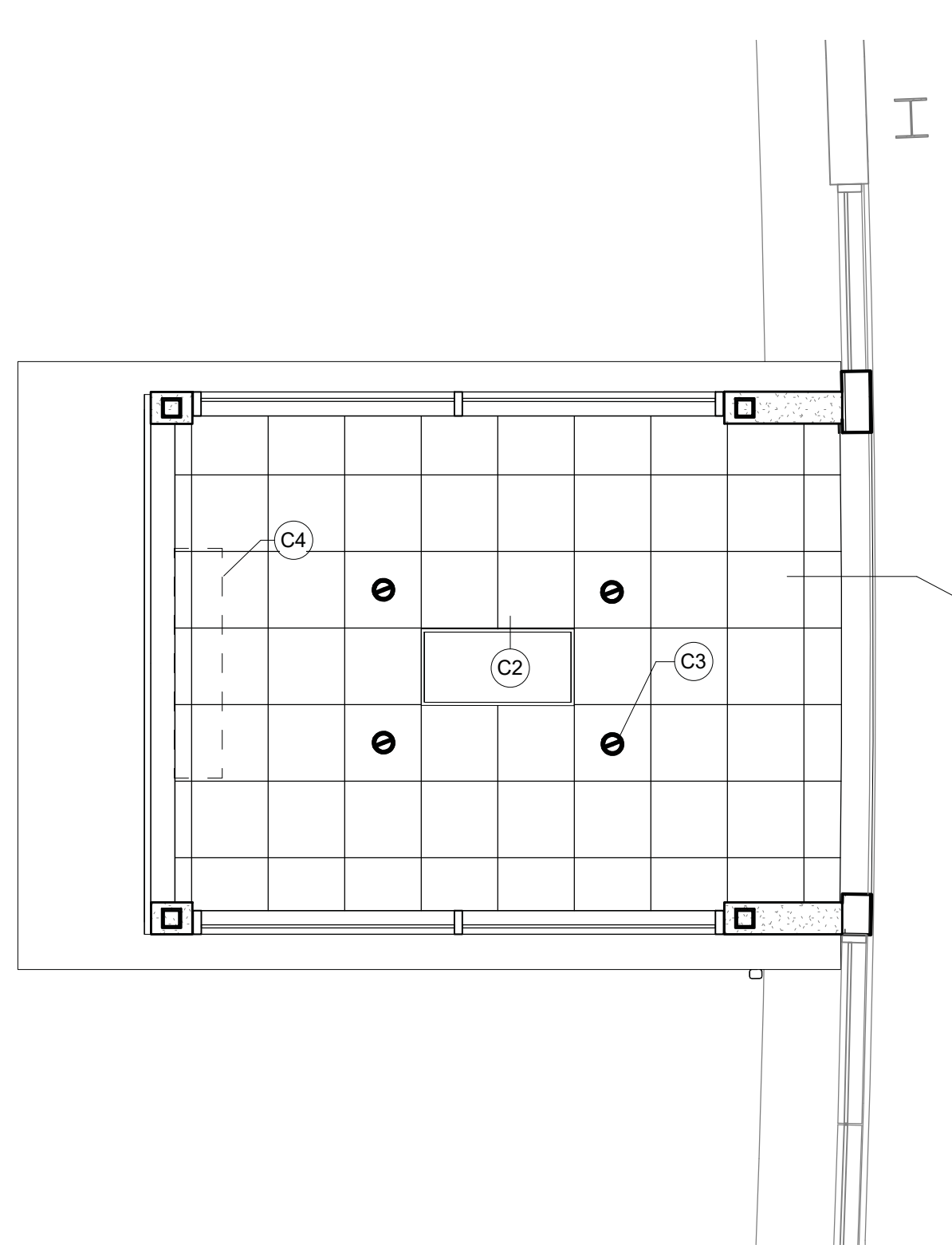
SHEET NO.

**A1.1**

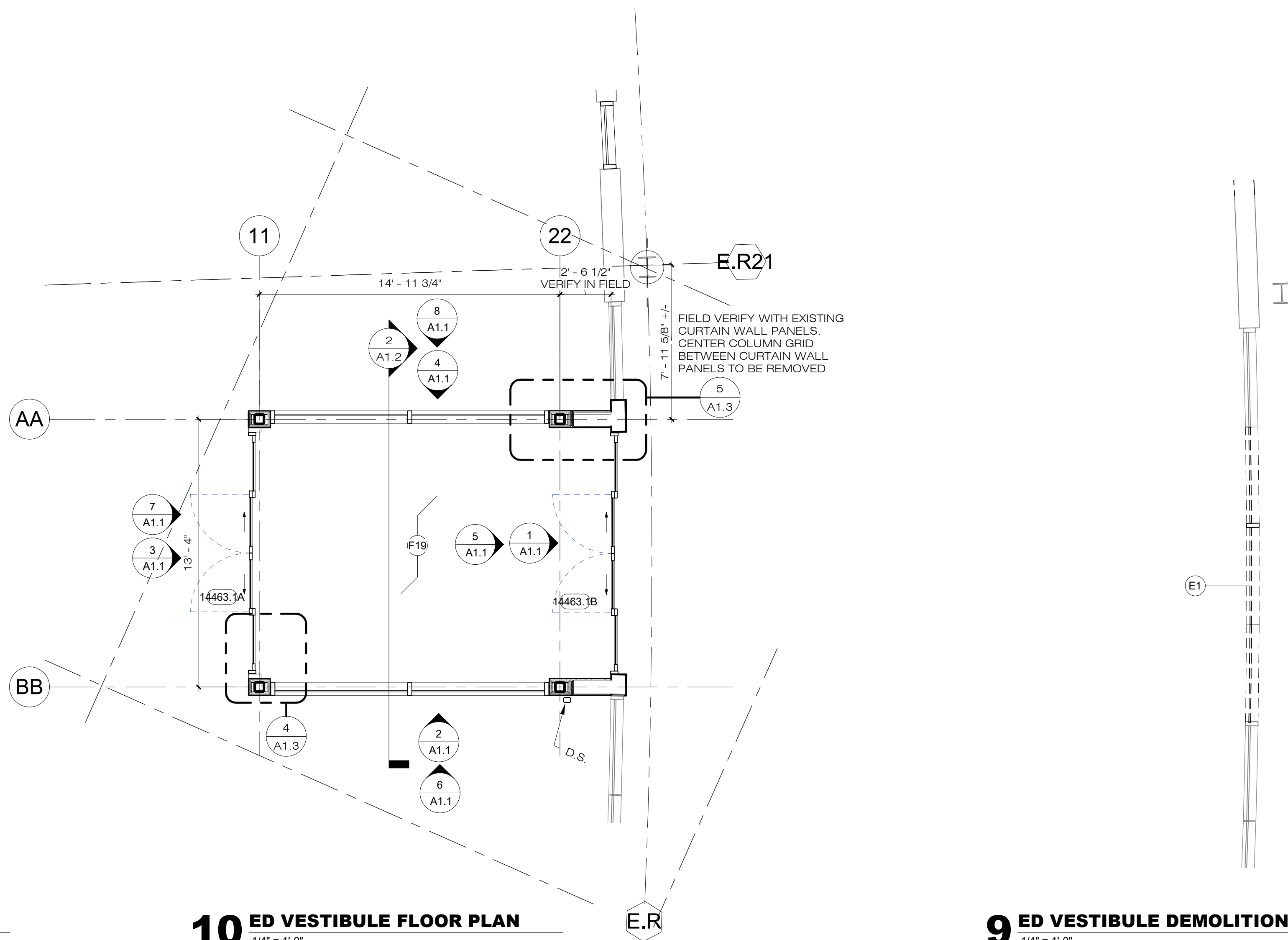
**12 ED VESTIBULE ROOF PLAN**  
1/4" = 1'-0"



**11 ED VESTIBULE REFLECTED CEILING PLAN**  
1/4" = 1'-0"

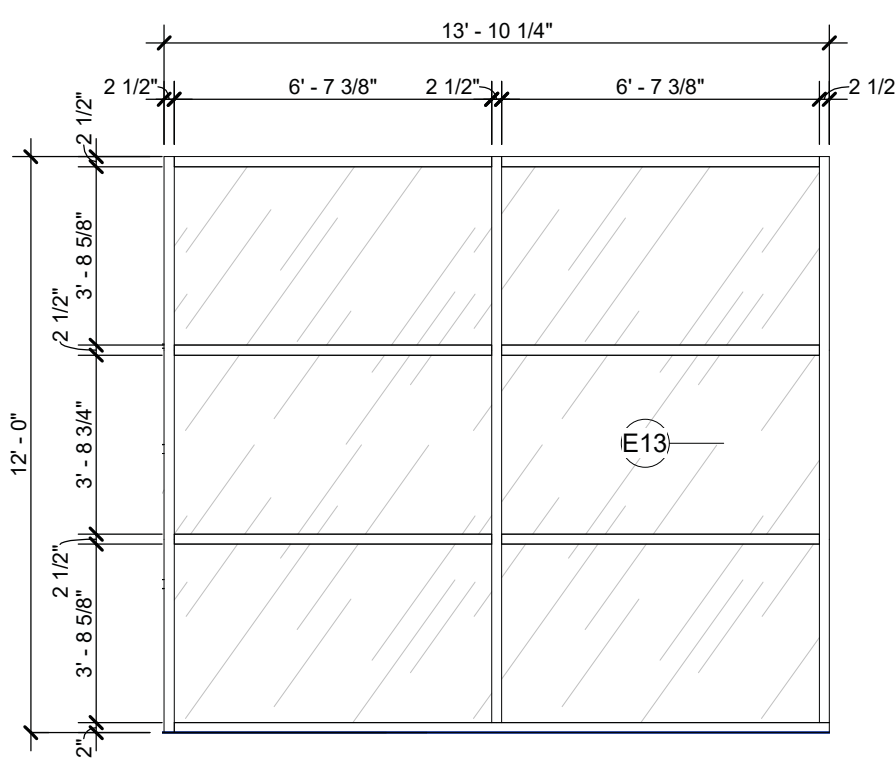


**10 ED VESTIBULE FLOOR PLAN**  
1/4" = 1'-0"

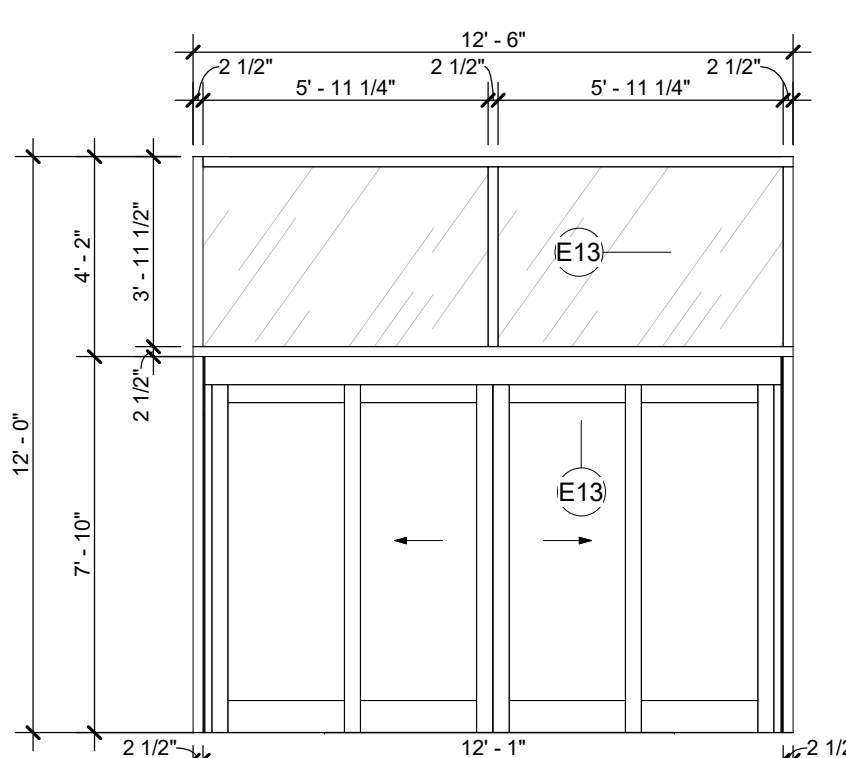


**9 ED VESTIBULE DEMOLITION PLAN**  
1/4" = 1'-0"

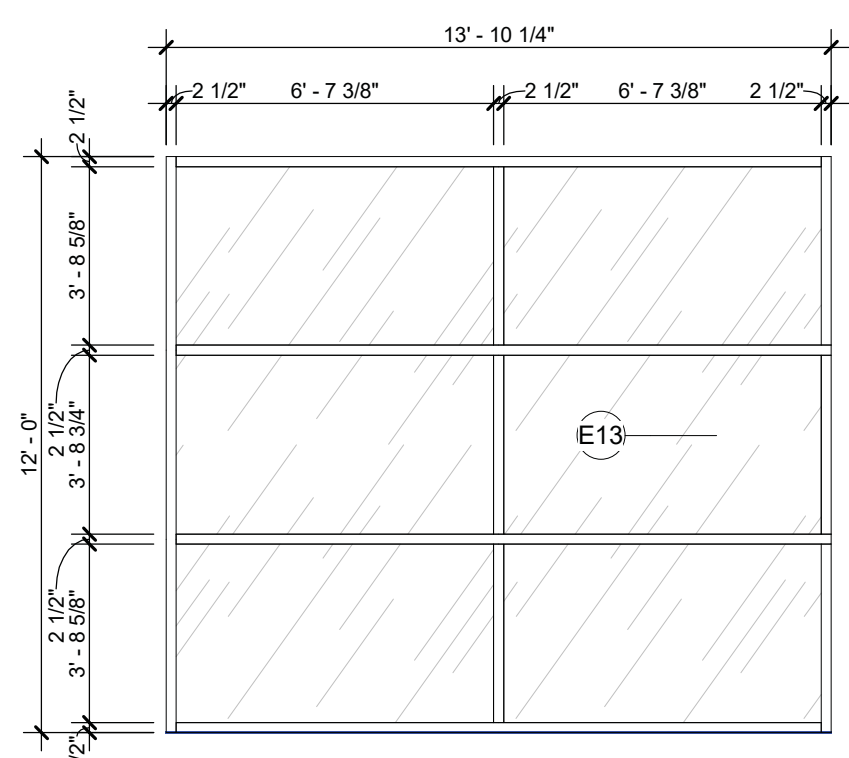
**8 NORTH ED VESTIBULE FRAME**  
1/4" = 1'-0"



**7 WEST ED VESTIBULE FRAME**  
1/4" = 1'-0"

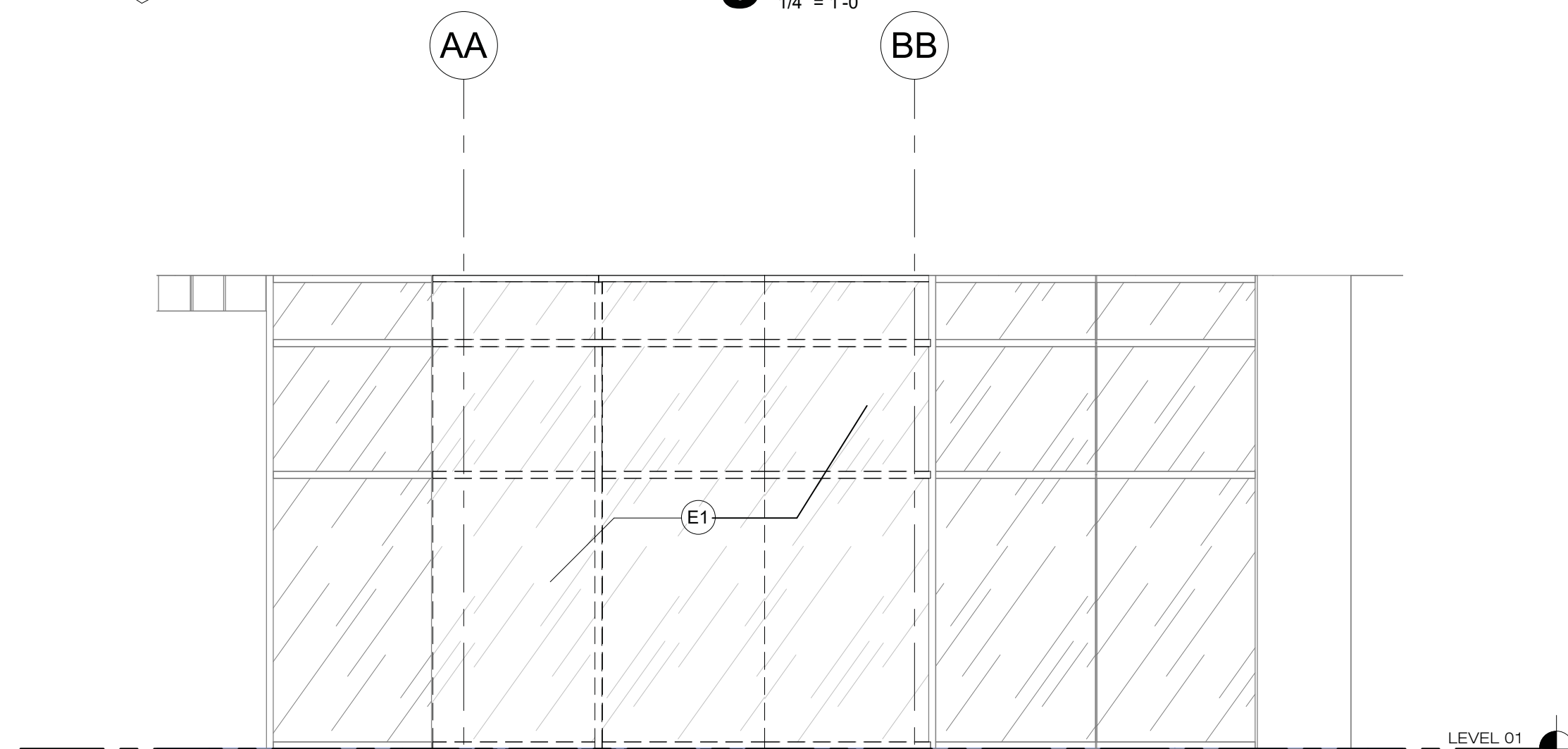


**6 SOUTH ED VESTIBULE FRAME**  
1/4" = 1'-0"

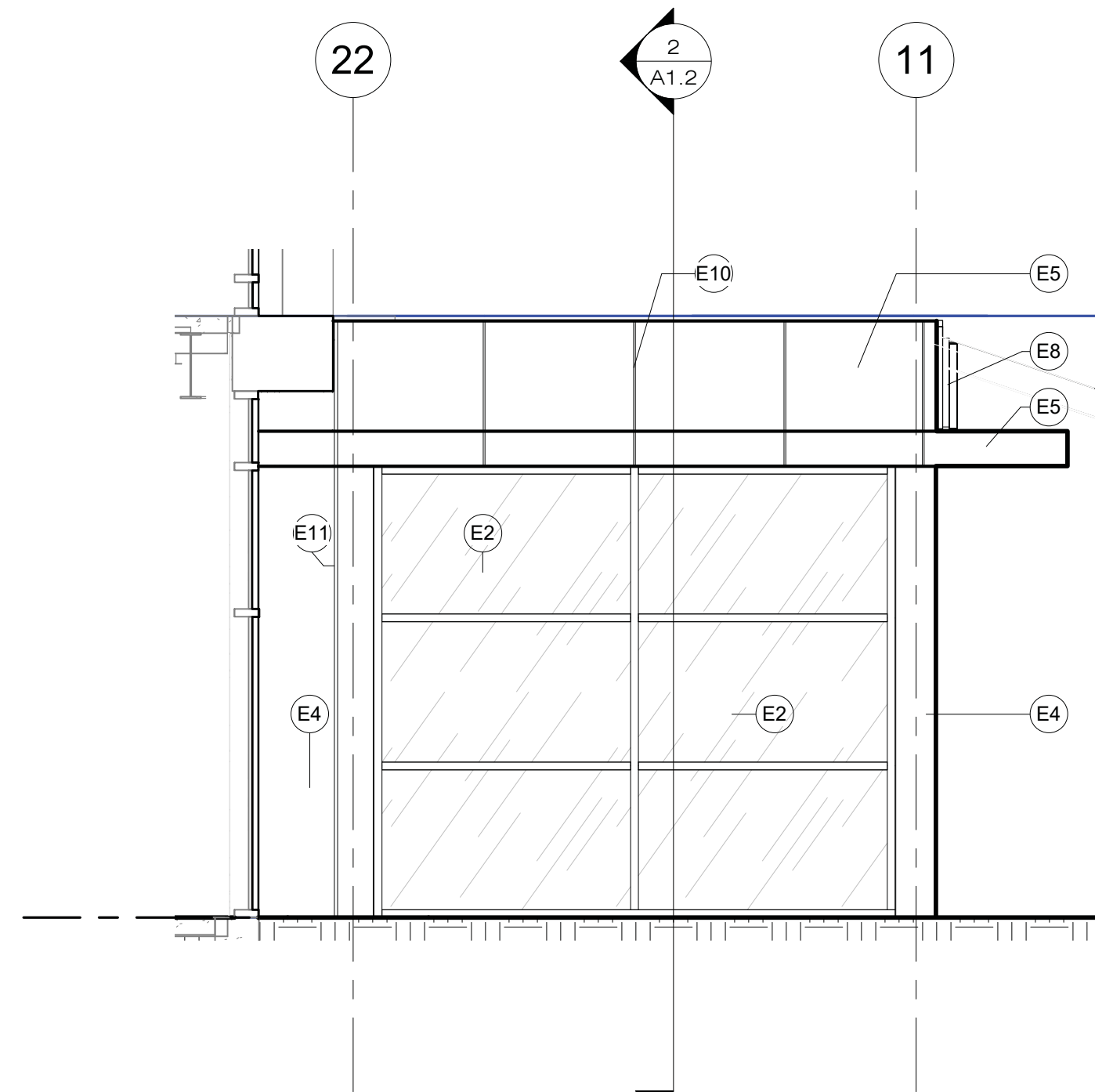


KEYNOTE LEGEND	
Key Value	Keynote Text
C1	2' x 2' ACOUSTIC PANEL LAY-IN CEILING AT 12'-0" A.F.F.
C2	RADIANT HEATER - REFER TO MECHANICAL DRAWINGS
C3	DOWNLIGHT - REFER TO ELECTRICAL DRAWINGS
C4	AIR CURTAIN - REFER TO ELECTRICAL DRAWINGS
E1	REMOVE EXISTING GLAZING AND ALUMINUM CURTAIN WALL SYSTEM
E2	GLAZED ALUMINUM CURTAIN WALL SYSTEM
E3	ALUMINUM SLIDING GLASS DOOR SYSTEM
E4	1 LAYER COMPOSITE METAL PANEL ADHERED OVER EXTERIOR SHEATHING
E5	COMPOSITE METAL PANEL
E6	ALUMINUM GUTTER
E7	ALUMINUM DOWNSPOUT
E8	EXISTING 'EMERGENCY' SIGN RELOCATED
E9	SLOPE COMPOSITE PANELS 1/4" PER FOOT
E10	COMPOSITE METAL PANEL JOINT - BACKER ROD AND SEALANT
E11	EXPANSION JOINT
E12	1/4" TEMPERED GLASS
E13	1" TINTED TEMPERED INSULATING GLASS
F19	FINISHES: FLOORS - CARPET TILE; GYPSUM BOARD WALLS - PAINT; BASE - RUBBER COVE BASE
R1	COMPOSITE METAL PANEL
R2	COMPOSITE METAL PANEL JOINT - BACKER ROD AND SEALANT
R3	ALUMINUM GUTTER
R4	ALUMINUM DOWNSPOUT
R5	SLOPE COMPOSITE METAL PANELS 1/4" PER FOOT
R6	EXPANSION JOINT

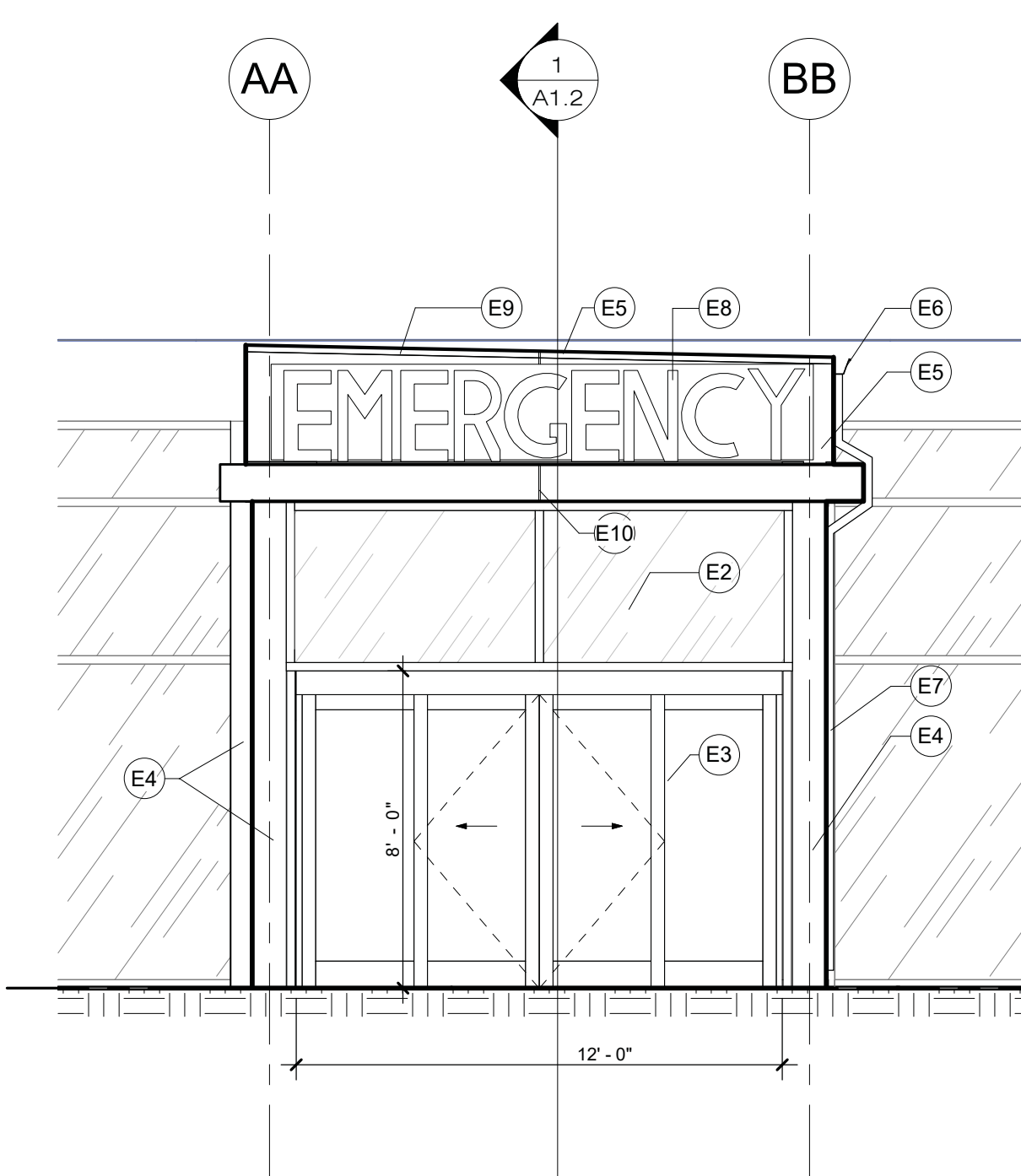
**5 WEST DEMO ELEVATION**  
1/4" = 1'-0"



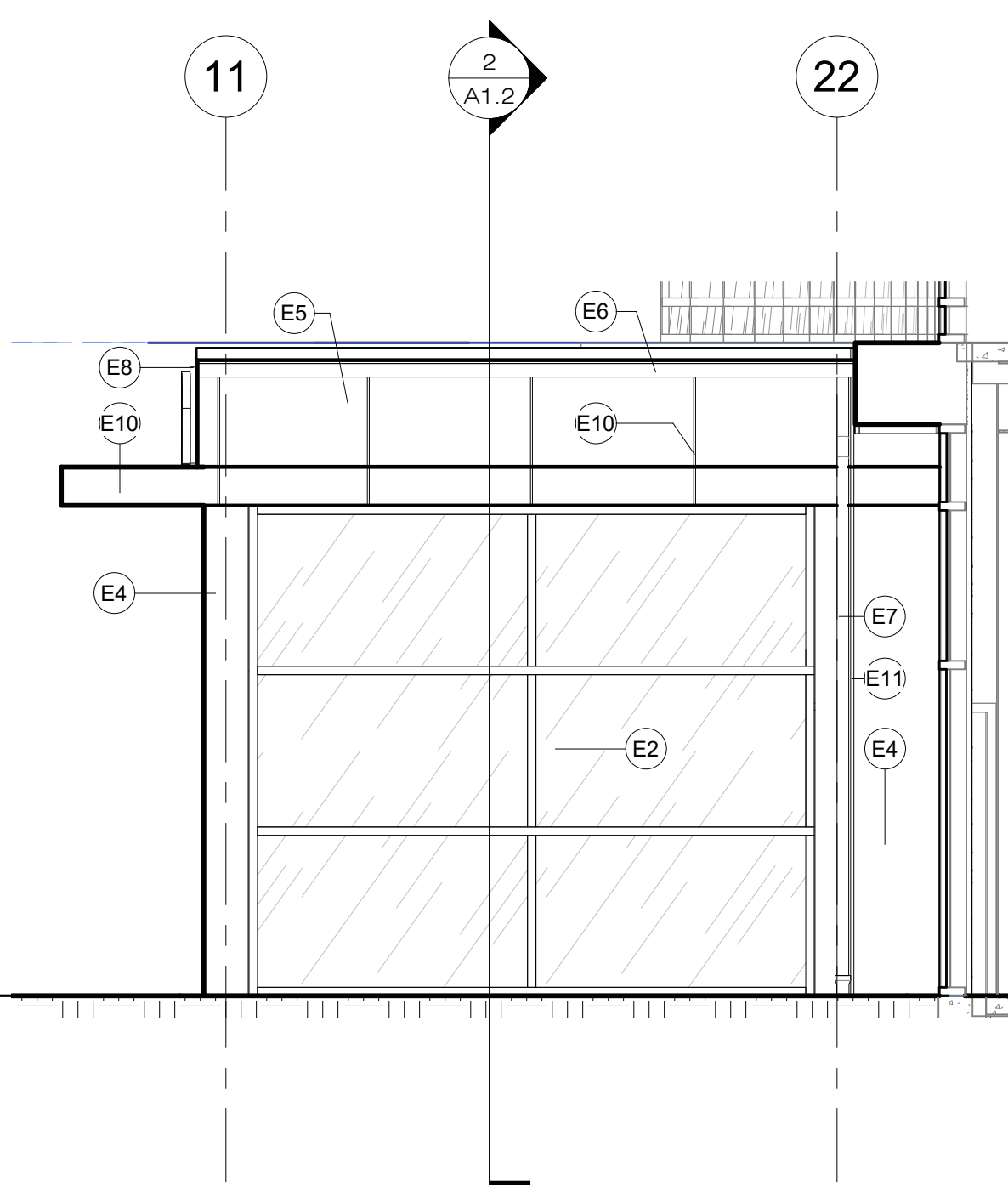
**4 NORTH ELEVATION**  
1/4" = 1'-0"



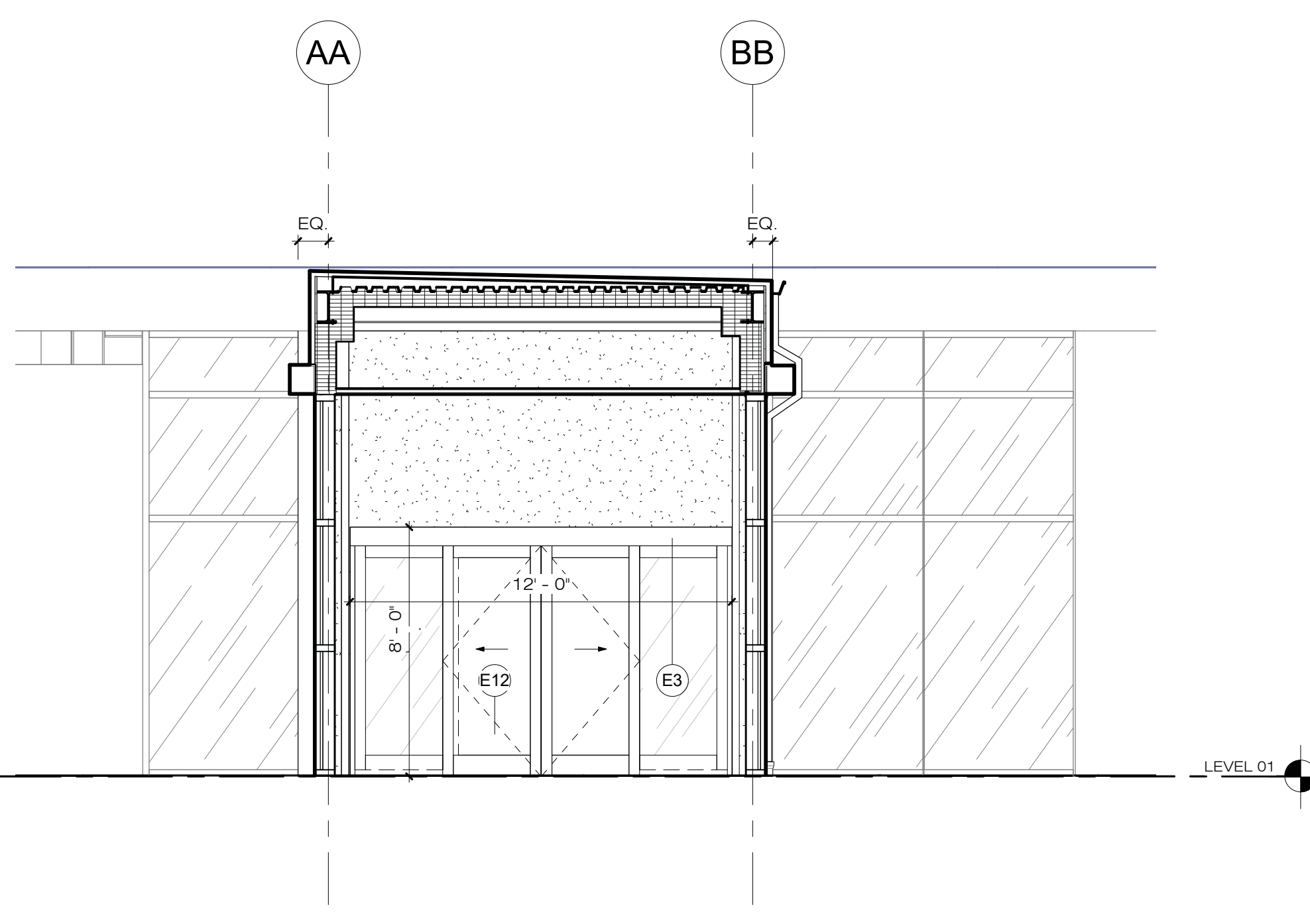
**3 WEST ELEVATION**  
1/4" = 1'-0"



**2 SOUTH ELEVATION**  
1/4" = 1'-0"



**1 WEST INTERIOR ELEVATION**  
1/4" = 1'-0"



**OWNER**  
UNIVERSITY HOSPITALS  
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CLEVELAND, OH 44100

**ARCHITECT**  
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107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

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BEREA, OH 44017

**MEP ENGINEER**  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

**LANDSCAPE ARCHITECT**  
AECOM  
1300 EAST 9TH STREET  
SUITE 500  
CLEVELAND, OH 44144

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OSBORN ENGINEERING  
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2217 EAST 9TH STREET  
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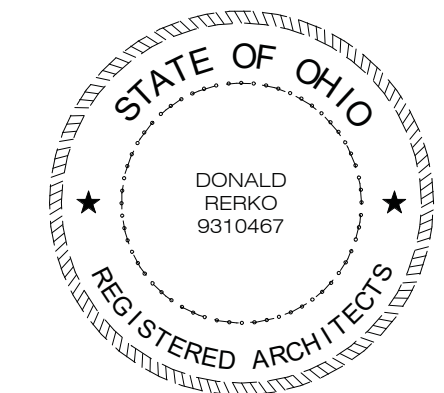
**LOW VOLTAGE**  
ROSS & BARUZZI, ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

**AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS**



**HELI-PAD CONSULTANT**  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

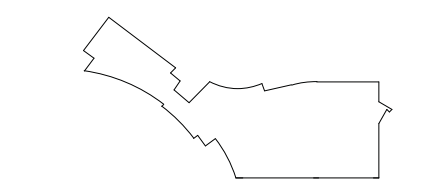
**CONSTRUCTION MANAGEMENT**  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



Donald Rierko, License  
#9310467 Expiration Date  
12/31/2021

*Donald Rierko*

KEY PLAN



REVISION	NO.	DESCRIPTION	DATE
	1	PERMIT	3/30/2020
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HKS PROJECT NUMBER

**21551.00**

DATE

**3/30/2020**

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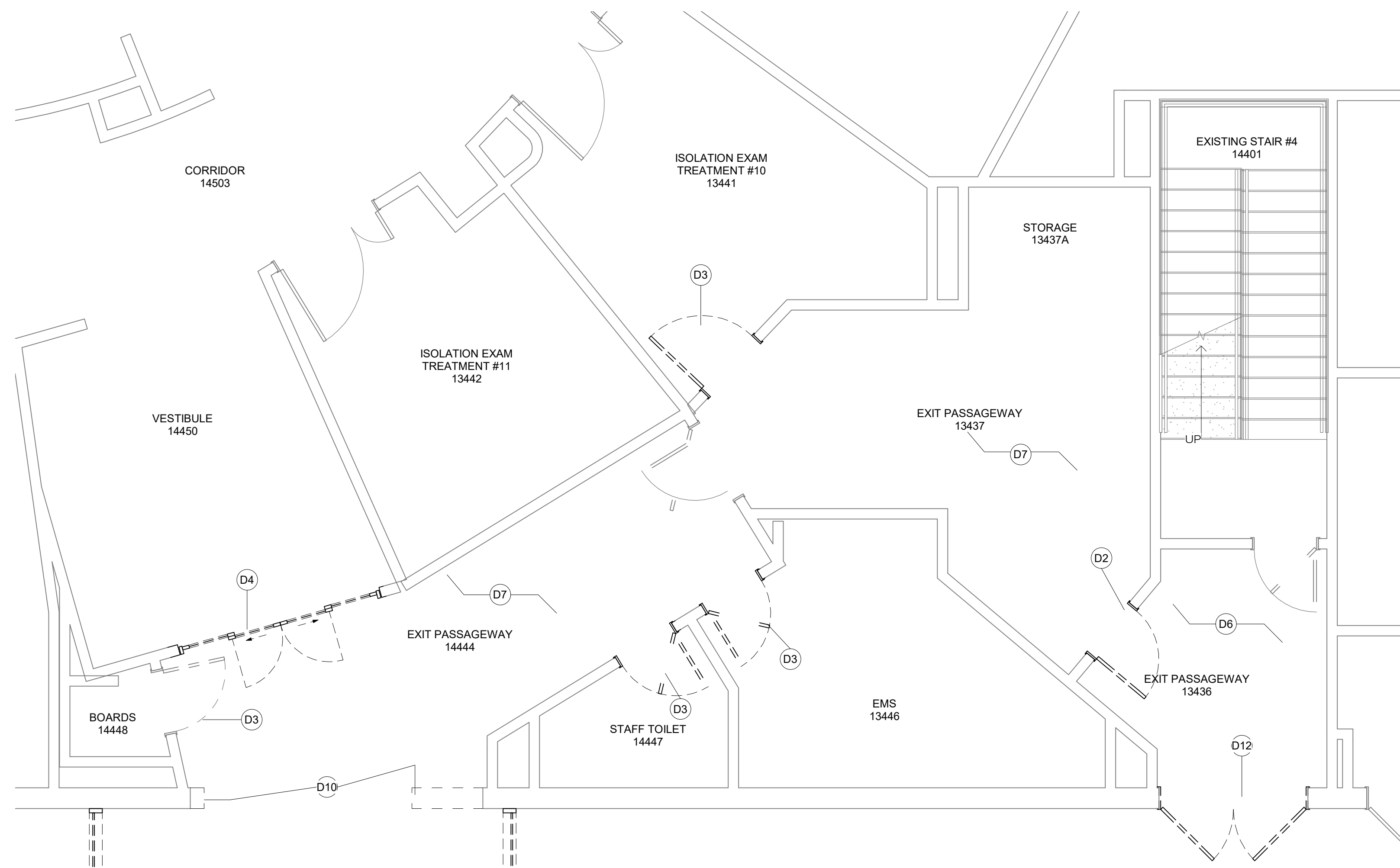
**PERMIT**

SHEET TITLE

**EXIT  
PASSAGEWAY  
PLANS**

SHEET NO.

**A1.4**

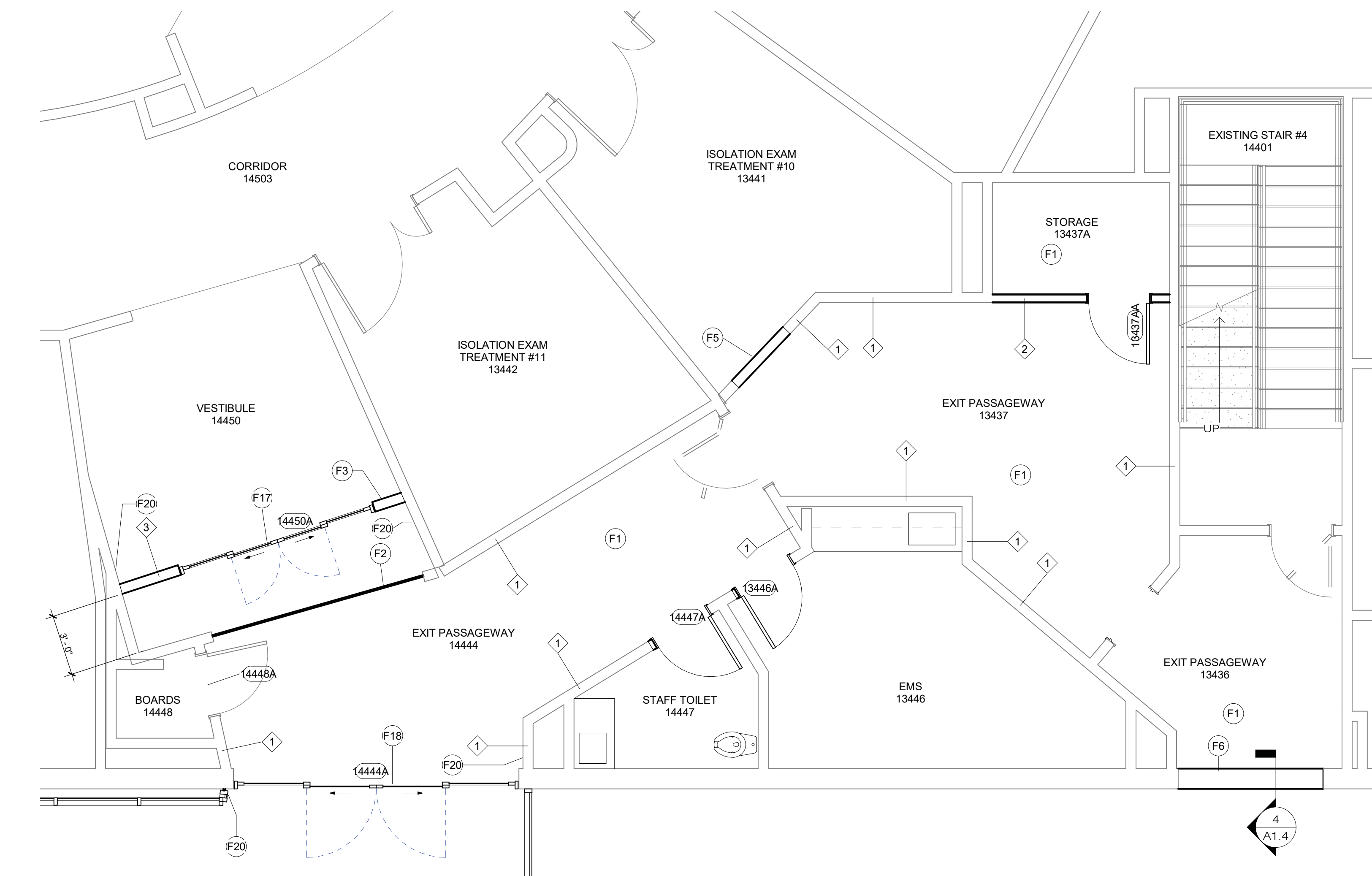
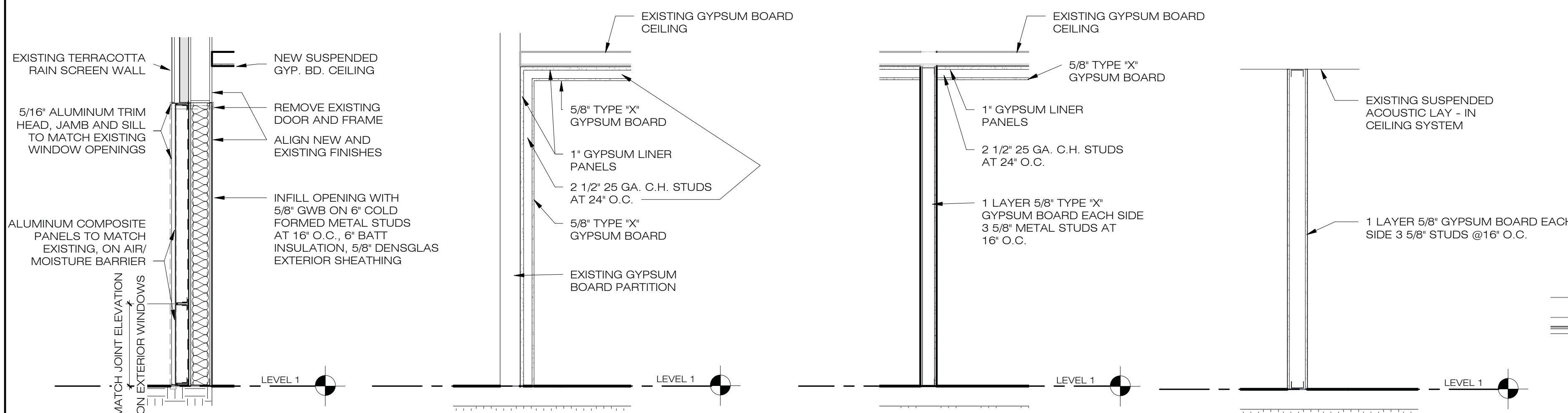


**KEYNOTE LEGEND**

Key Value	Keynote Text
D2	REMOVE EXISTING DOOR ONLY
D3	REMOVE EXISTING DOOR AND FRAME - SALVAGE HARDWARE FOR RE-INSTALLATION
D4	REMOVE EXISTING INTERIOR SLIDING DOOR TO BE RELOCATED
D6	REMOVE EXISTING SUSPENDED LAY IN CEILING SYSTEM
D7	REMOVE EXISTING WALL BASE
D9	REMOVE EXISTING EXTERIOR SLIDING DOOR TO BE RELOCATED
D10	ENLARGE OPENING FOR EXISTING EXTERIOR SLIDING DOOR TO BE RELOCATED
D11	EXISTING VESTIBULE TO BE REMOVED. REFER TO CIVIL DRAWINGS
D12	REMOVE EXISTING DOOR AND FRAME
F1	FINISHES - FLOORS - EXISTING TO REMAIN. WALLS AND CEILINGS - PAINT GYPSUM BOARD. WALL BASE - COVE RUBBER TO MATCH EXISTING
F2	1 HR FIRE RATED FIRE CURTAIN - SURFACE MOUNTED ON EXIT PASSAGEWAY SIDE ABOVE EXISTING OPENING
F3	PAINT NEW PARTITION TO MATCH EXISTING - PROVIDE WALL BASE TO MATCH EXISTING
F5	FILL OPENING TO MATCH 1-HR FIRE-RESISTIVE RATED PARTITION TYPE
F6	FILL OPENING WITH EXTERIOR WALL CONSTRUCTION TO MATCH EXISTING
F17	EXISTING INTERIOR SLIDING DOOR RELOCATED
F18	EXISTING EXTERIOR SLIDING DOOR RELOCATED
F20	SLIDING DOOR PUSH PADDLE CONTROL

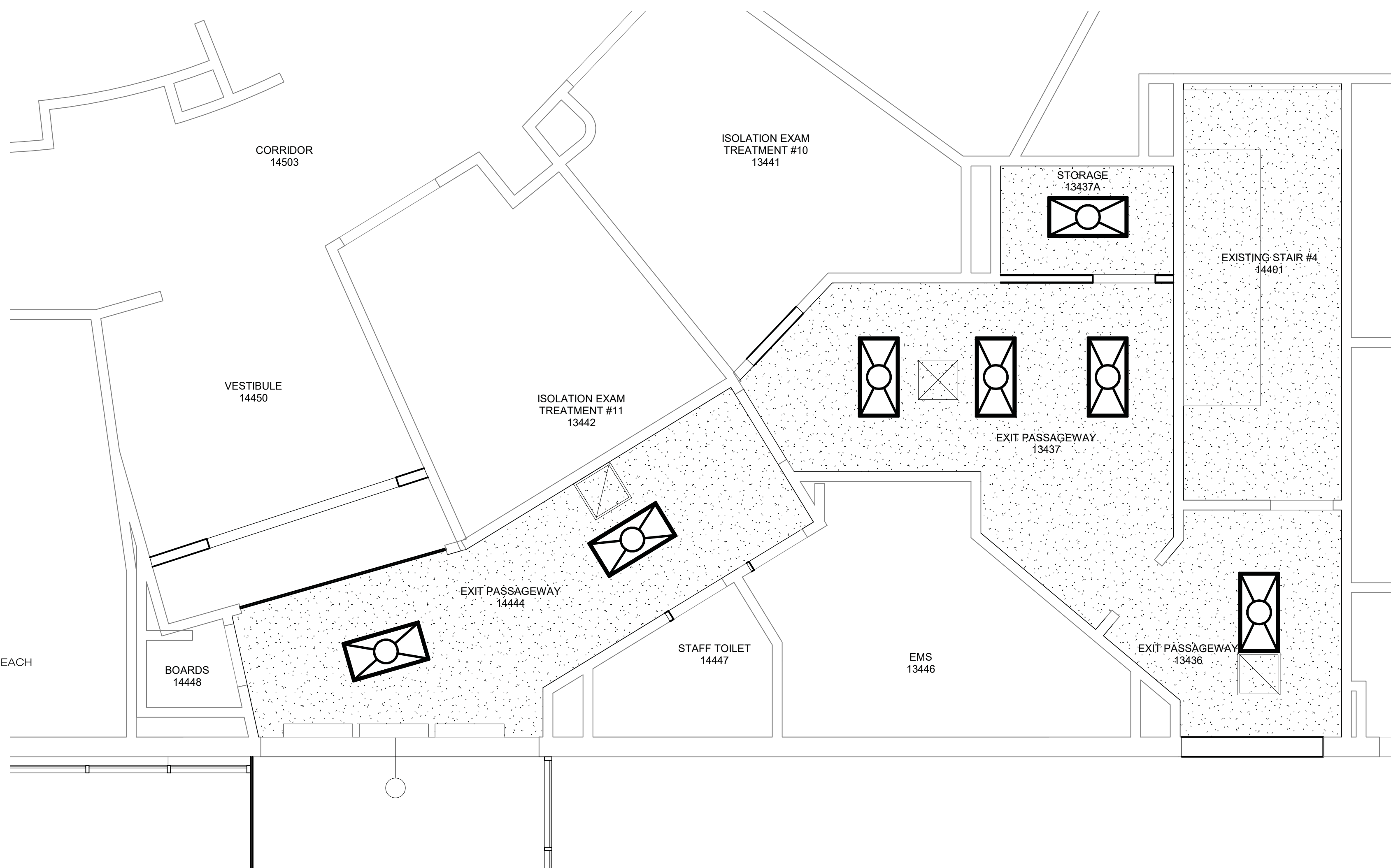
**REFLECTED CEILING LEGEND**

	1HR RATED HORIZONTAL CEILING ASSEMBLY - REFER TO WALL TYPES 1 & 2
	SUPPLY DIFFUSER - REFER TO MECHANICAL DRAWINGS
	RETURN GRILLE - REFER TO MECHANICAL DRAWINGS
	2X4 SURFACE MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
	RELOCATED LINEAR DIFFUSER - REFER TO MECHANICAL DRAWINGS



**2 EXIT PASSAGEWAY FLOOR PLAN**

1/4" = 1'-0"



**1 EXIT PASSAGEWAY REFLECTED CEILING PLAN**

1/4" = 1'-0"

OWNER  
UNIVERSITY HOSPITALS  
11100 EUCLID AVE  
CLEVELAND, OH 44100

ARCHITECT  
HKS ARCHITECTS, P.C.  
107 GRAND STREET, 6TH FLOOR  
NEW YORK, NY 10013

ENABLING ARCHITECT  
MAKOVICH & PUSTI ARCHITECTS INC.  
111 FRONT ST  
BEREA, OH 44017

MEP ENGINEER  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

LANDSCAPE ARCHITECT  
AECOM  
1300 EAST 9TH STREET  
SUITE 500  
CLEVELAND, OH 44144

CIVIL ENGINEERING  
OSBORN ENGINEERING  
100 SUPERIOR AVE  
SUITE 300  
CLEVELAND, OH 44114

STRUCTURAL ENGINEERING  
BARBER & KOFFMAN ENGINEERING  
2217 EAST 9TH STREET  
SUITE 350  
CLEVELAND, OH 44115

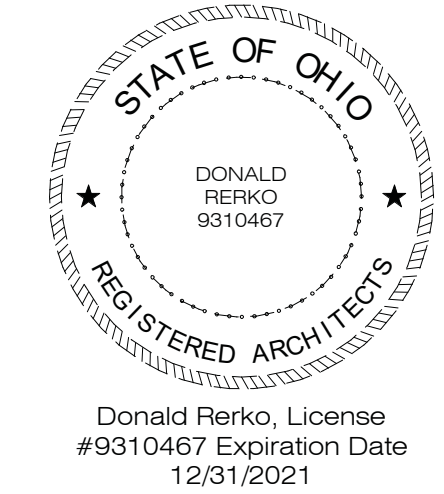
LOW VOLTAGE  
ROSS & BARUZZINI ED  
150 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10038

AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS

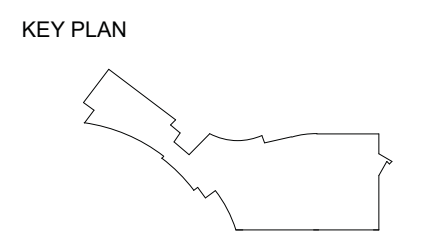


HELI-PAD CONSULTANT  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

CONSTRUCTION MANAGEMENT  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



Donato Pierko, License  
#9310467 Expiration Date  
12/31/2021

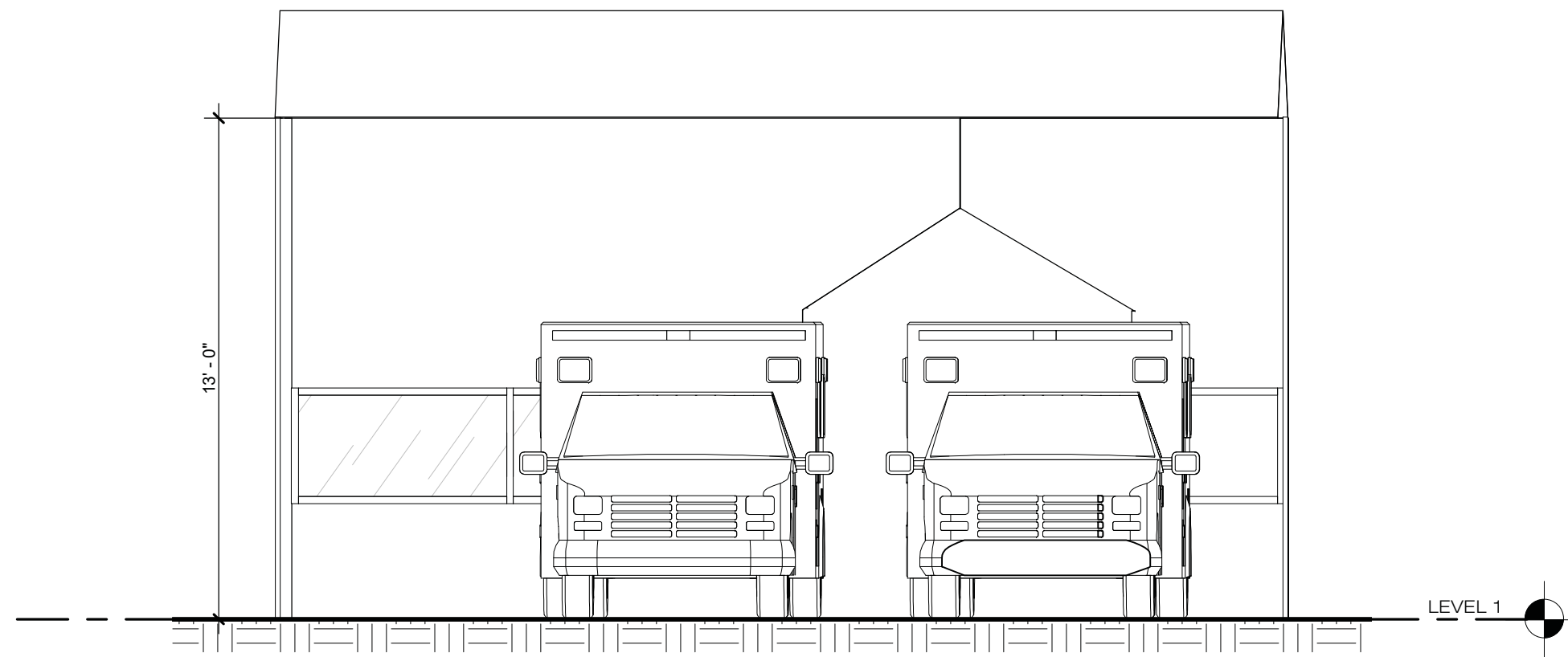


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2	P & Z / ARB	3/30/2020	

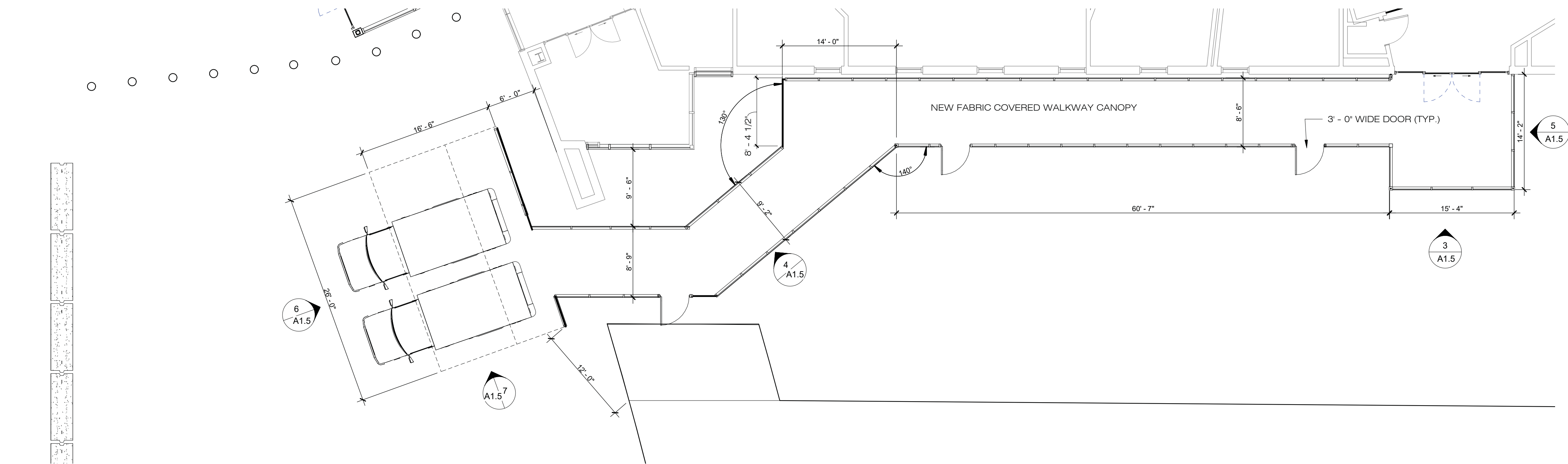
HKS PROJECT NUMBER  
**21551.00**  
DATE  
**3/30/2020**  
ISSUE  
**PERMIT**

SHEET TITLE  
**AMBULANCE  
CANOPY PLANS/  
ELEVATIONS**  
SHEET NO.

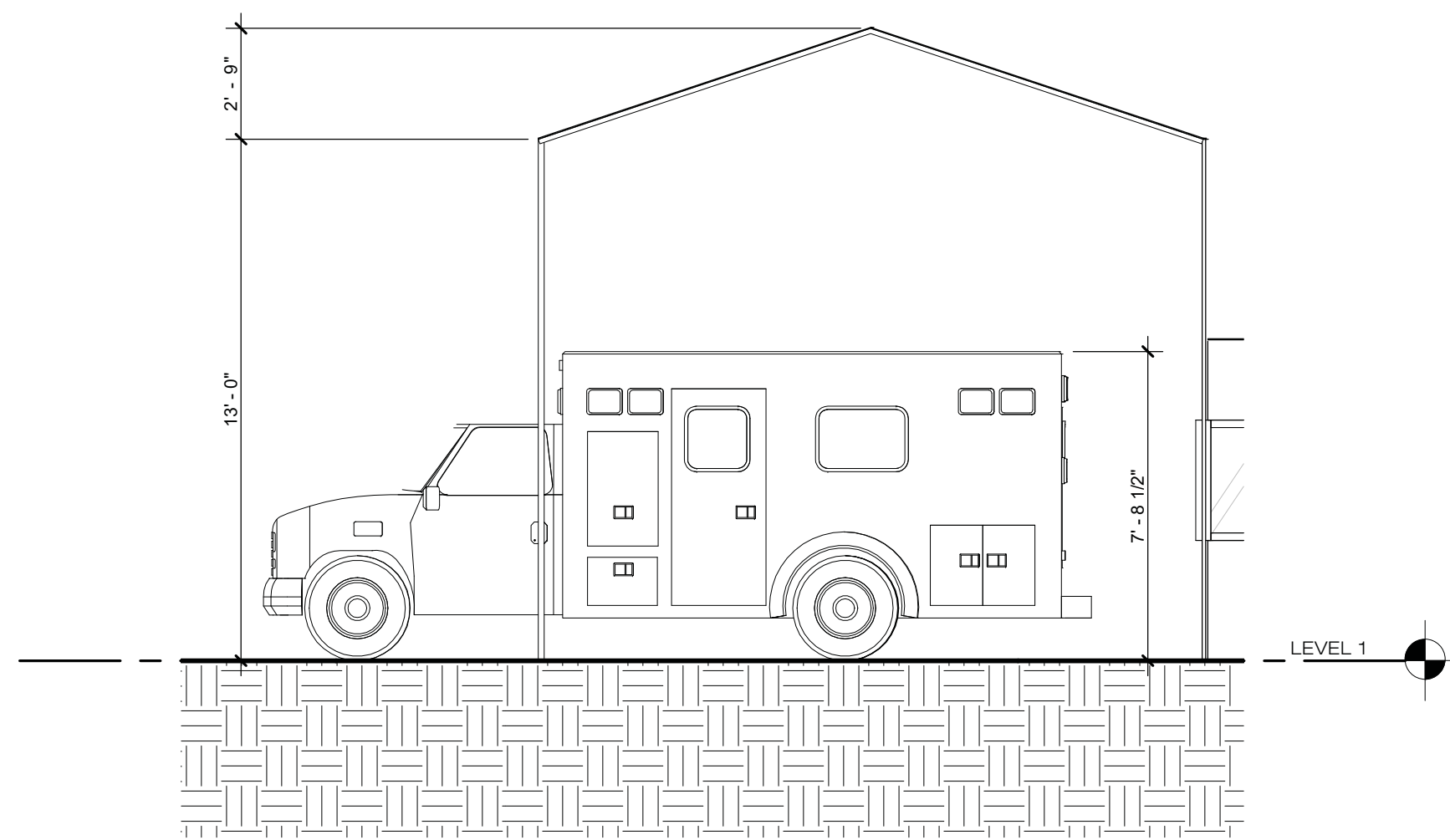
**A1.5**



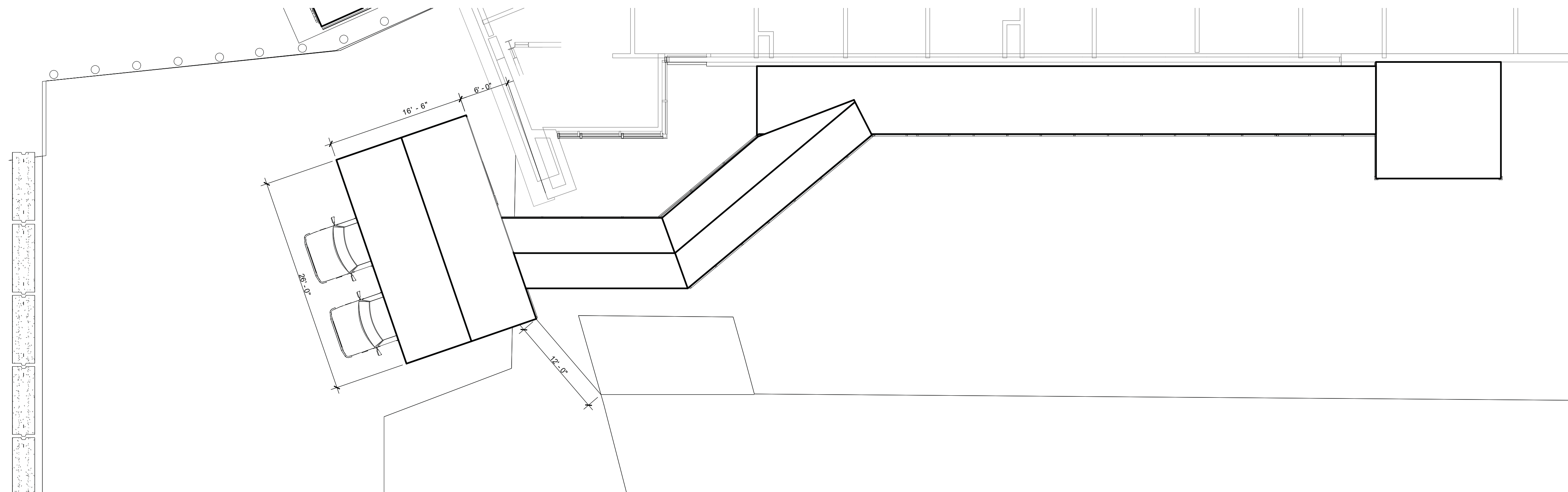
**6** AMBULANCE CANOPY WEST ELEVATION  
1/4" = 1'-0"



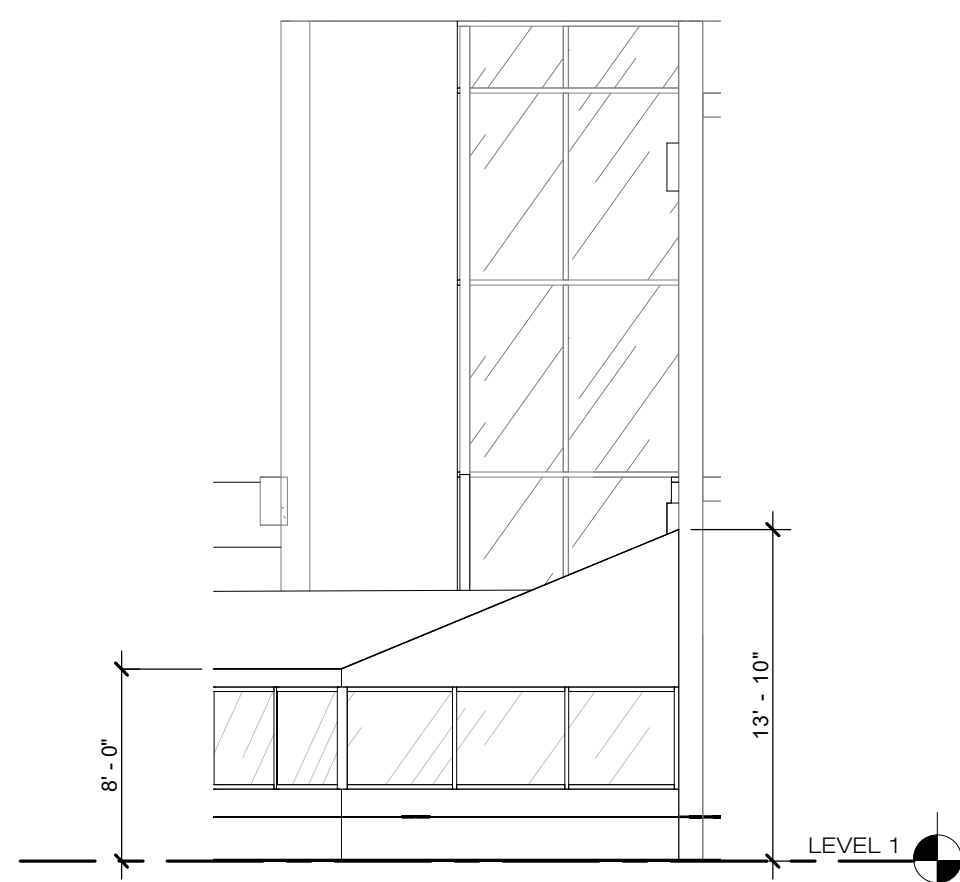
**1** AMBULANCE CANOPY FLOOR PLAN  
1/8" = 1'-0"



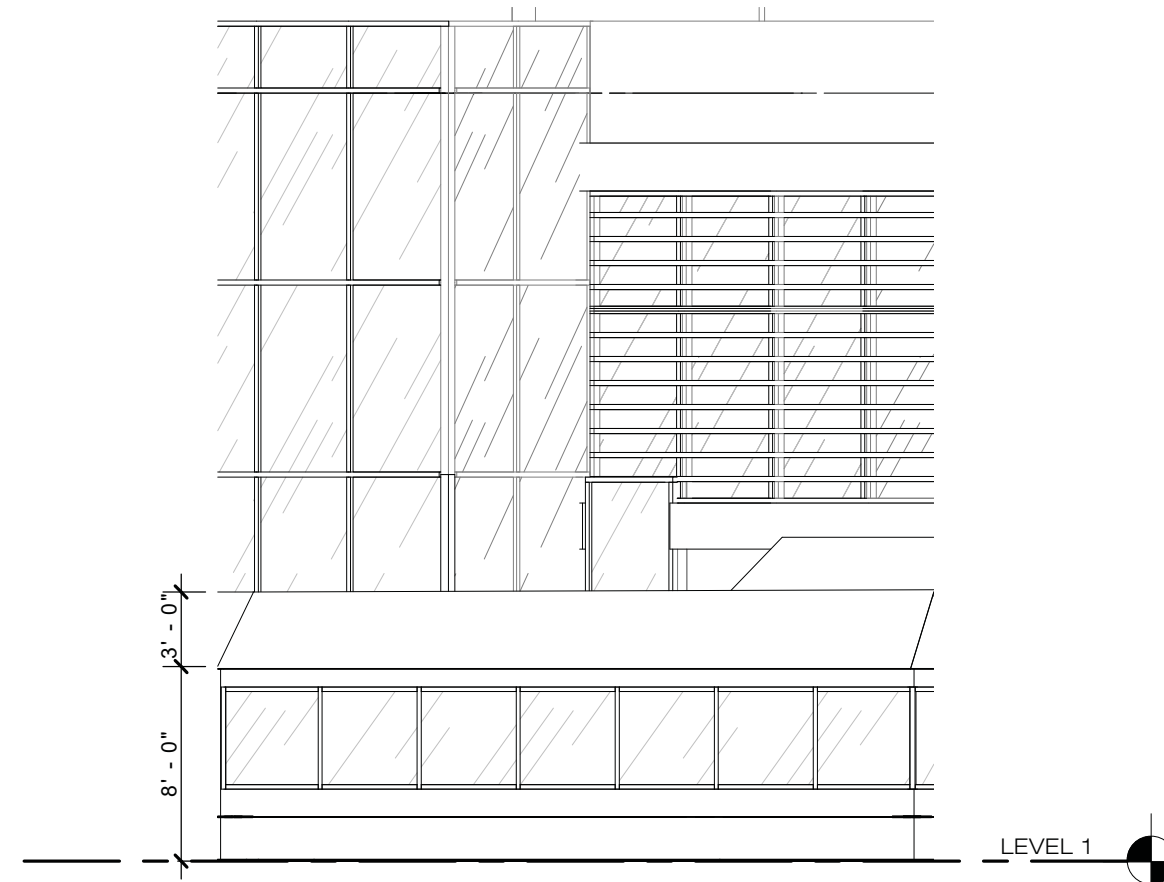
**7** AMBULANCE CANOPY SOUTH ELEVATION.  
1/4" = 1'-0"



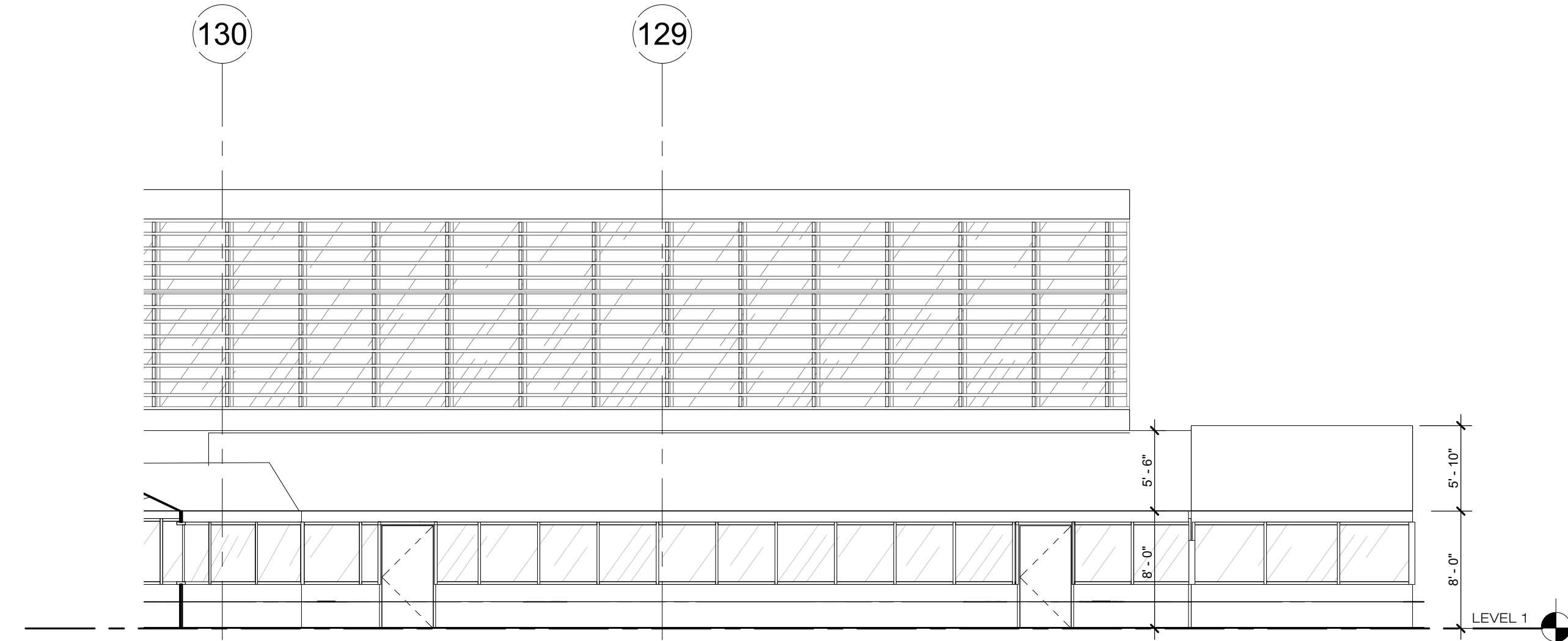
**2** AMBULANCE CANOPY ROOF PLAN  
1/8" = 1'-0"



**5** AMBULANCE CANOPY EAST ELEVATION  
1/8" = 1'-0"



**4** AMBULANCE CANOPY SOUTH WEST ELEVATION  
1/8" = 1'-0"



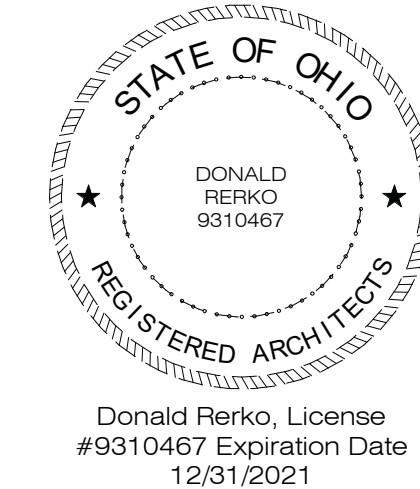
**3** AMBULANCE CANOPY SOUTH ELEVATION  
1/8" = 1'-0"

AHUJA MEDICAL CENTER  
PHASE 2 ENABLING  
PROJECTS

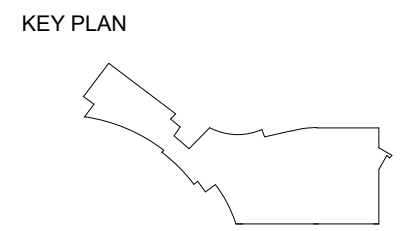


**HELI-PAD CONSULTANT**  
FEC HELIPORTS  
5298 RIVER RD.  
CINCINNATI, OH 45233

**CONSTRUCTION MANAGEMENT**  
GILBANE  
950 MAIN AVENUE  
CLEVELAND, OHIO 44113



Donald Pierko, License  
#9310467 Expiration Date  
12/31/2021



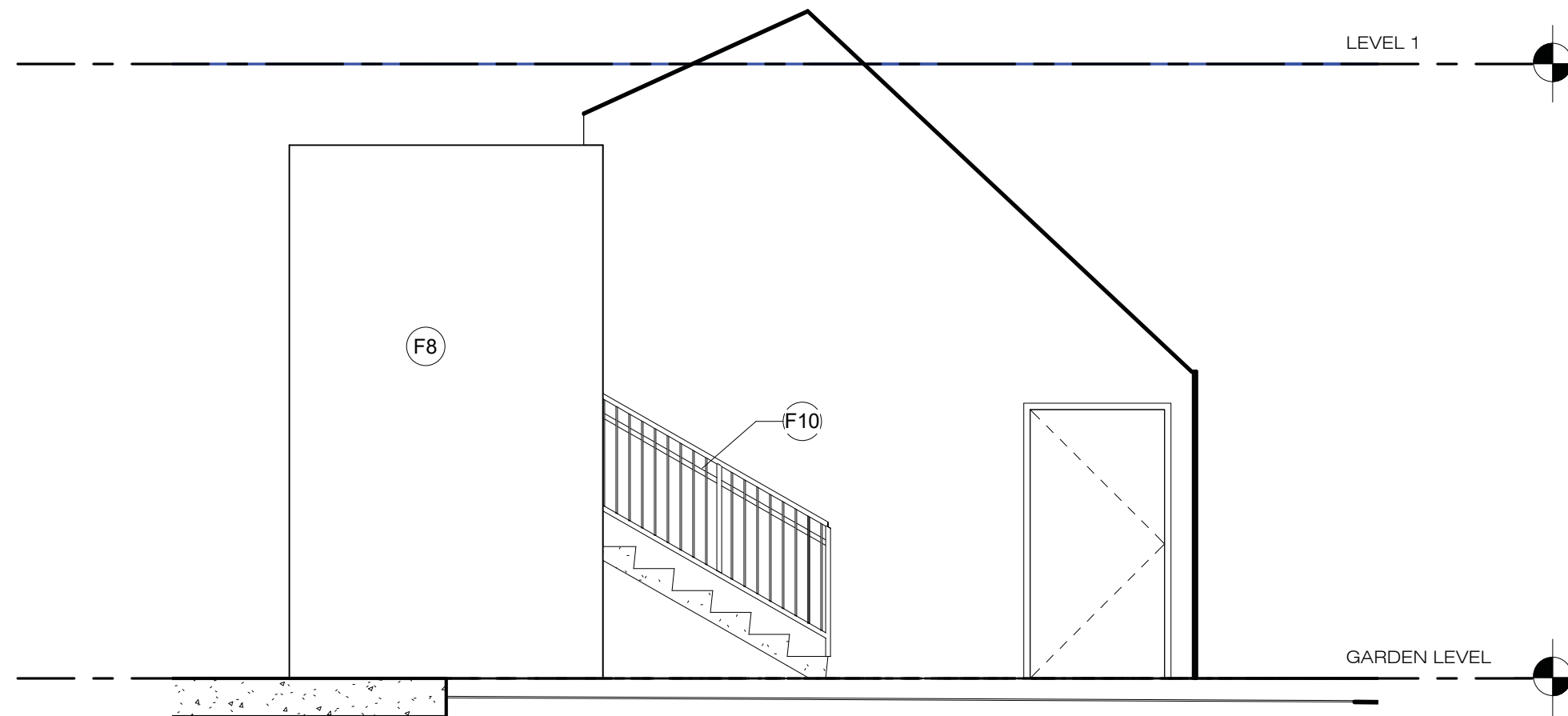
REVISION	NO.	DESCRIPTION	DATE
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	2	P & Z / ARB	3/30/2020

HKS PROJECT NUMBER  
**21551.00**  
DATE  
**3/30/2020**  
ISSUE  
**PERMIT**

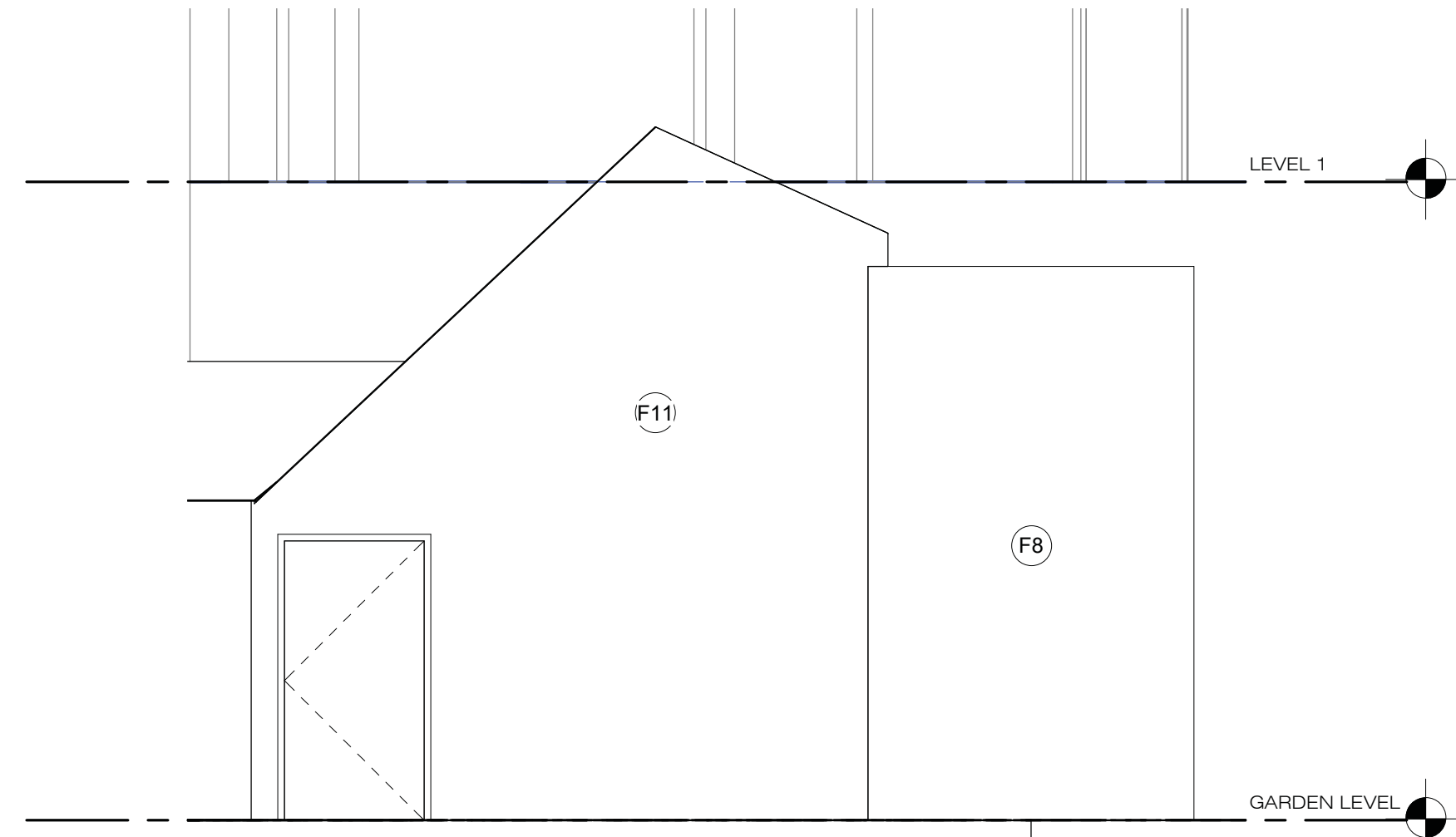
SHEET TITLE  
**MRI CANOPY  
PLANS/ELEVATIONS**

SHEET NO.

**A1.6**

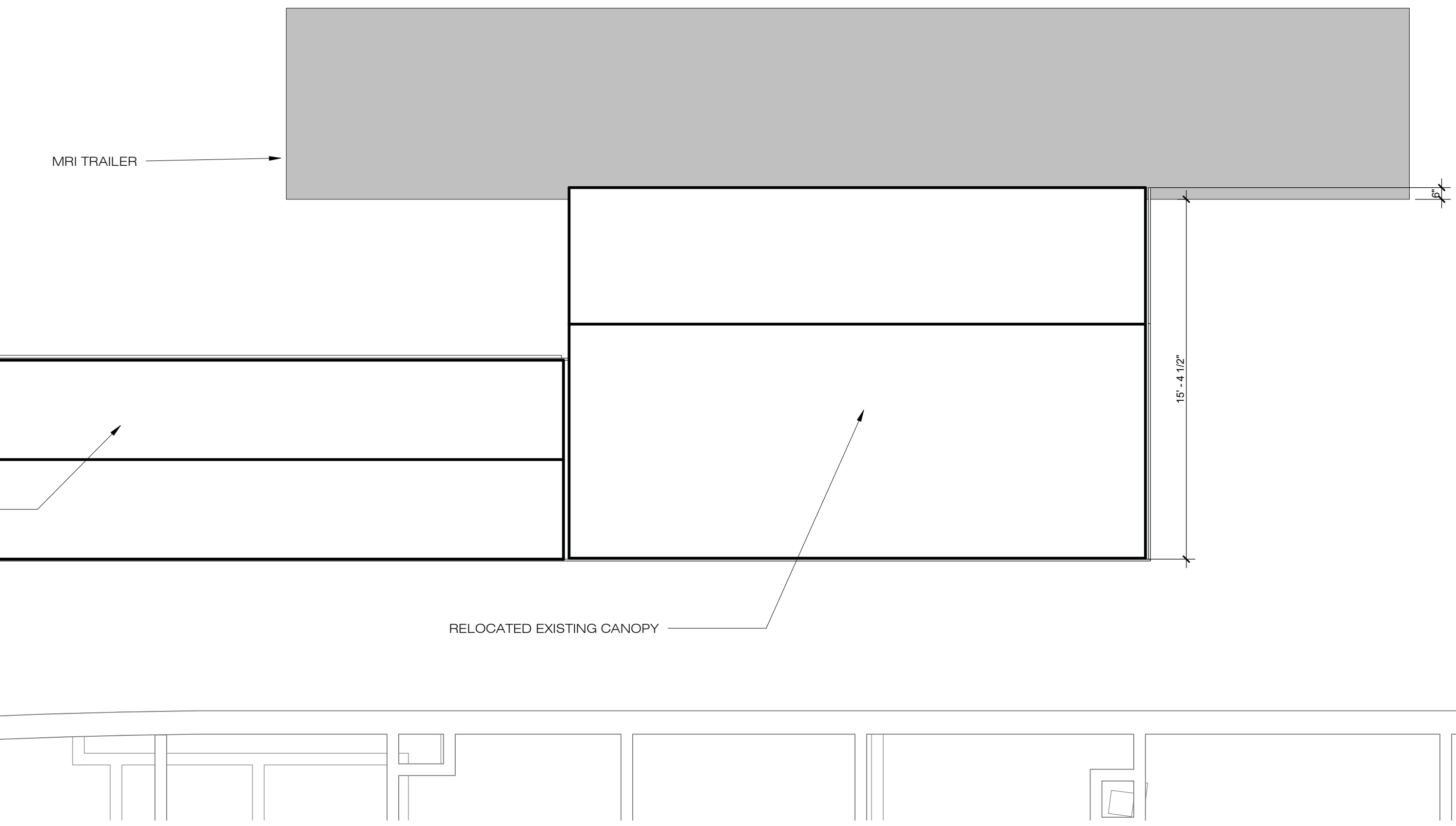


**5 EAST ELEVATION**  
1/4" = 1'-0"

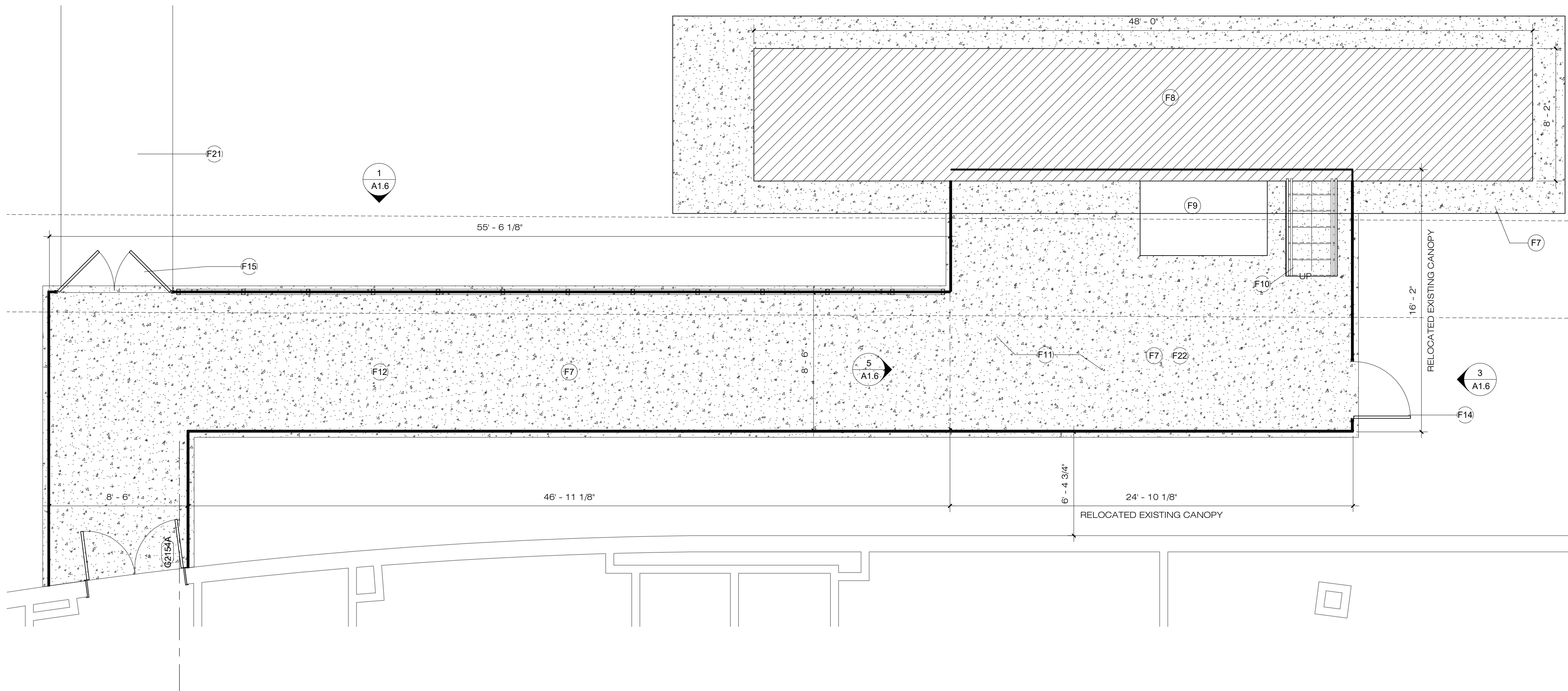


**3 WEST ELEVATION**  
1/4" = 1'-0"

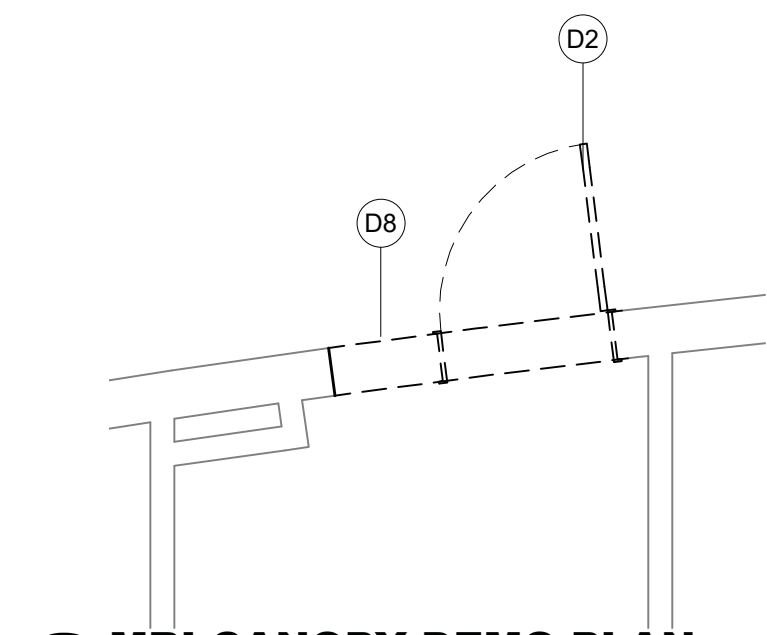
KEYNOTE LEGEND	
Key Value	Keynote Text
D2	REMOVE EXISTING DOOR ONLY
D8	CUT OPENING IN EXISTING WALL FOR NEW DOOR AND FRAME
F7	CONCRETE SLAB - REFER TO CIVIL DRAWINGS
F8	MRI TRAILER
F9	MRI TRAILER LIFT
F10	MRI TRAILER STAIR
F11	EXISTING CANOPY RELOCATED
F12	NEW FABRIC COVERED CANOPY
F14	NEW 3'-0" WIDE DOOR WITH EXIT HARDWARE IN EXISTING FABRIC CANOPY
F15	PAIR 3'-0" DOOR WITH EXIT HARDWARE IN NEW FABRIC WALKWAY CANOPY
F21	HELIPAD WALK - REFER TO CIVIL DRAWINGS
F22	CONCRETE WALK - REFER TO CIVIL DRAWINGS



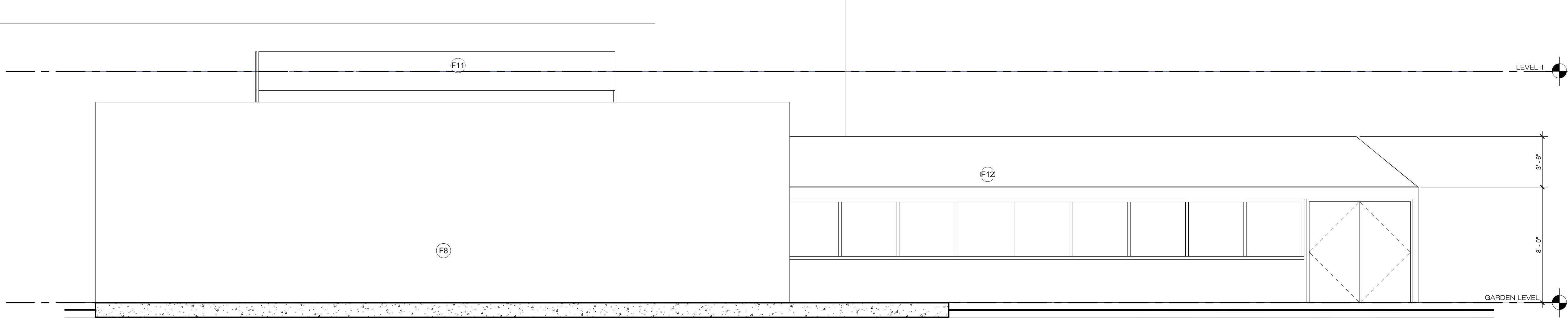
**6 MRI CANOPY ROOF PLAN**  
1/4" = 1'-0"



**4 MRI CANOPY FLOOR PLAN**  
1/4" = 1'-0"



**2 MRI CANOPY DEMO PLAN**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"

## Tactical Planning, LLC

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: April 13, 2020

RE: **P&Z 2020-06**      **Makovich & Pusti Architects**  
**University Hospitals**  
**3999 Richmond Road**



This request is for both preliminary and final site plan approval for four (4) interim projects required by the applicant in order to accommodate construction of Phase 2 at the Ahuja Medical Center. The four interim projects include:

1. Expansion of the existing parking lot on Auburn Drive;
2. Temporary relocation of the helipad;
3. Relocation of the mobile MRI; and
4. Temporary revisions to the emergency room and ambulance entrances.

The applicant is proposing to add 44 parking spaces to the existing parking lot at the west end of the site adjacent to the medical office building. This parking lot expansion will be a permanent improvement. The helipad is being temporarily relocated from the east side of the building to an area in the middle of the walking trails north of the building. The mobile MRI is being relocated from the southeast side of the building to the northwest side and walkways provided to connect to the building. Finally, the applicant is proposing to construct temporary patient and ambulance entrances to the emergency room.

All of these changes are intended to move activity away from the area of the site where construction will take place on Phase 2. There are no setback issues associated with any of these proposed interim projects.

It is recommended that the Planning and Zoning Commission grant both preliminary and final site plan approval for these interim projects subject to any comments of the City Engineer.



5595 Transportation Boulevard, Suite 100  
Cleveland, Ohio 44125

Phone 216.518.5544  
[www.gpdgroup.com](http://www.gpdgroup.com)



## MEMORANDUM

### CITY OF BEACHWOOD PLANNING AND ZONING COMMISSION MEETING

**Meeting Date: April 27, 2020**

**Report Date: April 15, 2020**

2020120.02

To: Mr. William B. Griswold  
Building Commissioner

From: Joseph R. Ciuni, P.E.  
Consulting City Engineer

#### **AGENDA ITEM No. 7**

**P&Z 2020-6 DONALD RERKO, MAKOVICH & PUSTI ARCHITECTS, INC., ON BEHALF OF UNIVERSITY HOSPITALS, IS REQUESTING PRELIMINARY AND FINAL SITE PLAN APPROVAL FOR PHASE 2 ENABLING PROJECTS PRIOR TO A NEW ADDITION FOR AHUJA MEDICAL CENTER LOCATED AT 3999 RICHMOND ROAD.**

We have reviewed the site improvement and storm water pollution prevention plans for the above referenced project dated March 30, 2020 and offer the following:

#### Risman Lot Site Plan – Sheet C2.10

1. Update the coded notes. The detail for Note A is on Sheet C7.00, not C7.02. There is no detail provided for Note B for pavement markings. There are no Sheets C7.02 or C7.03 provided in the plans. Same comment applies for the coded notes on C3.10.

#### Risman Lot Grading Plan – Sheet C2.11

2. Label the slopes on the grading at north and west sides of the parking lot. Are additional erosion control measures needed to stabilize the steep slopes?

#### ED Entrance Ambulance AutoTurn – Sheet C3.11

3. AutoTurn movements are shown for the southern ambulance access parking spot but not for the northern spot. Please show movements for the northern spot. It appears that it will be difficult for ambulances to navigate into that spot. We defer to the Fire Chief for the final approval of this area.

MRI and Heli-Pad Site Plan – Sheet C4.10

4. There is no detail provided on Sheet C7.00 for the proposed gravel drive for fire access.

MRI and Heli-Pad Grading Plan – Sheet C4.12

5. The proposed grading for the heli-pad and the proposed sidewalk/12" culvert have an impact on the grading for the Ex. Middle Retention Pond from elevation 1174 to 1176. How will this reduction in volume be addressed?
6. Provide capacity sizing for the culvert pipe.

SWPP Plan Notes – Sheet C6.00

7. Update all notes under Site Description.
  - a. Per note #2 under Site Description, the area of disturbance is approximately 6.4 acres. As a result, the applicant must file an NOI with the Ohio EPA. Please list the area of disturbance for each work area on the respective plan sheets.
  - b. Please complete the table in note #3 under Site Description. What is the total increase in imperious area? How will this impact affect the existing storm water management and water quality on site?

Please revise per the above comments and resubmit. Include a response to comments in the resubmittal.

JRC/jag

Cc: File 2020120.02

## Fire Prevention Bureau

### P&Z Report

**To:** Planning and Zoning Commission  
**From:** Shaun Lutz, Assistant Chief  
**Date:** 4/15/2020  
**Re:** P&Z # 20-06– 3999 Ahuja – Phase 2 enabling project

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Shaun Lutz*


Shaun Lutz  
Assistant Fire Chief

# CITY OF BEACHWOOD

## INTER-OFFICE MEMORANDUM

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TO: Alec Isaacson, Planning and Zoning Commission of Council Chair  
James Pasch, Council President

FROM: Martin S. Horwitz, Mayor 

DATE: February 24, 2020

SUBJECT: 1124.10 Rezoning Amendment

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Following up on the February 20<sup>th</sup> Council Committee Meeting, I am requesting the above referenced Rezoning Amendment discussed in Committee be before City Council for consideration on March 2<sup>nd</sup>.

The proposed Rezoning Amendment is as follows – new language has been added in red.

### 1124.10 REZONING

**In order to protect established single-family residential neighborhoods, to preserve the single-family residential character of the City, and to otherwise carry out the purposes of this Code, no land shall be rezoned from a Class U-1 Single-Family House District to a Class U-5 Public and Institutional District where such rezoning involves the consolidation of existing single-family lots and/or the demolition, destruction, or removal of existing single-family residences **except to address dangers to public health and/or safety as documented in reports by the Police Chief and Fire Chief and as determined by City Council.****

Thank you in advance for your consideration in this regard.

M.H.

Cc: City Council  
Diane Calta, Law Director  
William Griswold, Building Commissioner  
George Smerigan, City Planner  
Whitney Crook, Clerk of Council

INTRODUCED BY:

ORDINANCE NO. 2020-37

AN ORDINANCE AMENDING BCO CHAPTER 1124, SECTION 1124.10, TITLED "REZONING" OF THE CITY OF BEACHWOOD, OHIO PLANNING AND ZONING CODE

WHEREAS, Mayor Horwitz requested an amendment to BCO Chapter 1124, Section 1124.10, titled "Rezoning"; and

WHEREAS, it is Council's desire to refer said requested amendment to its Planning and Zoning Commission for study and a report and recommendation in accordance with BCO 1107.01.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Beachwood, County of Cuyahoga, and State of Ohio, that:

Section 1: The Council of the City of Beachwood, having received, on or about February 20, 2020, a request from Mayor Horwitz for an amendment to the City's Planning and Zoning Code, which is attached hereto and incorporated herein as Exhibit "A", will place this issue and said proposed amendment on first reading, and refer the proposed amendment to the Planning and Zoning Commission for its report and recommendation.

Upon Council's receipt of the recommendation of the Planning and Zoning Commission the issue of amending the current BCO Section 1124.10 shall be set for Public Hearing.

The Public Hearing shall be held on the \_\_\_\_ day of \_\_\_\_\_, 2020 at the Beachwood City Hall, Council Chambers, 25325 Fairmount Boulevard, Beachwood, Ohio.

This Ordinance shall be read by Council on three separate occasions and its passage shall cause the Proposed Amendment to become effective upon operation of the law.

Section 2: The Clerk of Council is directed to advertise said hearing one time in a newspaper of general circulation in the City at least thirty (30) days prior to the Public Hearing, setting forth the substance of the amendments which are proposed.

Section 4: It is found and determined that all formal actions and deliberations of Council and its committees relating to the passage of this legislation that resulted in formal action were in meetings open to the public where required by Chapter 105 of the Codified Ordinances of the City.

WHEREFORE, this Ordinance shall be in full force and effect from and after the earliest date permitted by law.

Attest: I hereby certify this legislation was duly adopted on the \_\_\_\_\_ day of March, 2020 and presented to the Mayor for approval or rejection in accordance with Article III, Section 8 of the Charter on the \_\_\_\_ day of March, 2020.

\_\_\_\_\_  
Clerk

Approval: I have approved this legislation this \_\_\_\_ day of March, 2020 and filed it with the Clerk.

\_\_\_\_\_  
Mayor

## EXHIBIT A

### 1124.10 REZONING.

In order to protect established single family residential neighborhoods, to preserve the single family residential character of the City, and to otherwise carry out the purposes of this Code, no land shall be rezoned from a Class U-1 Single-Family House District to a Class U-5 Public and Institutional District where such rezoning involves the consolidation of existing single family lots and/or the demolition, destruction, or removal of existing single family residences **except to address dangers to public health and/or safety as documented in reports by the Police Chief and Fire Chief and as determined by City Council.**

(Ord. 2018-94. Passed 10-21-19.)



**GPD GROUP®**  
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**Cleveland Office**

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Cleveland, OH 44125

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fax 216.518.5545

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**MEMORANDUM**

**CITY OF BEACHWOOD  
PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: March 26, 2020**

**Report Date: March 6, 2020**

2020120.01

To: Mr. William B. Griswold  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
Consulting City Engineer

**AGENDA ITEM NO. 6**

**P & Z 2020-05      Ordinance No. 2020-37, Amending BCO Chapter 1124,  
Section 1124.10 titled "Rezoning" of the City of Beachwood,  
Ohio Planning and Zoning Code (referred from Council on  
March 2, 2020).**

Engineering has no comments on this item.