

Beachwood Special Planning and Zoning Commission Meeting Agenda
Thursday, April 7, 2022, 6:30 PM
at Beachwood City Hall, Council Chambers,
25325 Fairmount Boulevard, Beachwood, Ohio 44122

Agenda Items

1. Roll Call
2. Approval of Minutes of the February 24, 2022 Planning and Zoning Commission Meeting
3. Council Report
4. Citizen's Remarks
5. Planning and Zoning Commission
2022-04 Joseph Calderwood, Architect, on behalf of Brian and Admit Gastman, property owner, is requesting preliminary and final approval for the lot split and consolidation of PPN 741-09-003, Hebrew Academy, and PPN 741-09-030, 23303 Ranch Road.
6. Planning and Zoning Commission
2022-05 Anthony Majc, RSA Architects LLC, is requesting preliminary site plan approval for two (2) new pole buildings to be located at 23150 Commerce Park Road, Tremco East.
7. Planning and Zoning Commission
2022-06 Ordinance No. 2022-41, Amending the City of Beachwood, Ohio Planning and Zoning Code by amending Chapter 1111 titled "Districts and Zone Map Generally" and adding new Chapter 1122 titled "U-4C Integrated Mixed-Use. Multi-Family Residential, Office, Retail, Recreation, Business District" (referred from Council March 21, 2022).
8. Planning and Zoning Commission
2022-07 Ordinance No. 2022-42, Rezoning 3663 Park East Drive, Beachwood, Ohio, PPN 742-29-017, from U-9 to newly proposed Classification U-4C (referred from Council March 21, 2022).

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 2/25/22

OWNER OF BUILDING: BRIAN & ADMIT GASTMAN PHONE: 410-961-1109

STREET ADDRESS: 23303 RANCH ROAD

CITY/STATE/ZIP: BEACHWOOD, OH 44122

APPLICANT: JOSEPH CALDERWOOD PHONE: 440-429-5164

COMPANY OR FIRM: JOSEPH CALDERWOOD, DESIGNER

EMAIL: joecmconsult@shglobal.net

STREET ADDRESS: 6064 HYDE ST

CITY/STATE/ZIP: MENTOR, OH 44060

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

JOSEPH CALDERWOOD, joecmconsult@shglobal.net

DESCRIPTION OF THE PROPERTY:

ADDRESS: 23303 RANCH ROAD SUITE #

TENANT NAME: BRIAN & ADMIT GASTMAN

PERMANENT PARCEL # 74-09-030 PRESENT USE: PROPOSED USE:

PURPOSE OF APPLICATION: CONSOLIDATE A 25' x 100' PARCEL TO THE REAR OF PP # 741-09-030

NATURE OF THE REQUEST (check as many as apply):

- ☐ Preliminary site plan approval
- ☐ Final site plan approval
- ☒ Lot split
- ☒ Lot consolidation
- ☐ Conditional use permit
- ☐ Rezoning
- ☐ Zoning text amendment
- ☐ Other
- ☐ Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

TO CONSOLIDATE A 25' DEEP LOT TO REAR OF PROPERTY TO ALLOW FOR REAR ADDITION
Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. WITHOUT THE REAR LOT CONSOLIDATION, TO LOSE HOUSE
THE OWNER WOULD NOT BE ABLE TO ADD A REAR ADDITION DUE TO THE CURRENT REAR LOT SIZE & THE LOT

***** (OVER) CONTINUED ON BACK *****

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Admit Gashman
SIGNATURE

Admit Gashman
PRINTED NAME

2/25/22
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. 2022-4 MEETING DATE: 3/31/22

FEE: RECEIPT # 2022-01804 AMOUNT \$ 1,535⁰⁰ DATE PAID 2/28/22

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: ☐ YES ☐ NO Meeting Date: _____

Building & Community Development Department
William Griswold, Building & Community Development Director
Phone (216) 292-1914 • Fax (216) 292-1917

LOT SPLIT AND CONSOLIDATION PLAT

BEING A LOT SPLIT OF P.P.N. 741-09-003 WITH
A CONSOLIDATION OF ALL OF P.P.N. 741-09-030

KNOWN AS BEING ALL OF SUBLT 298 AND PART OF SUBLOTS 299 & 297 OF THE KANGESSER COMPANY'S FAIRMONT GREENS SUBDIVISION AS RECORDED IN VOL. 102, PG. 19 OF CUYAHOGA COUNTY PLAT RECORDS AND FURTHER KNOWN AS BEING PART OF LOT NO. 18, ORIGINAL WARRENSVILLE TOWNSHIP SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, AND STATE OF OHIO
SEPTEMBER, 2021 SCALE 1" = 30'

YOUNG ISRAEL
OF BEACHWOOD
APN: 2000-08300942
PPN: 741-09-005
2463 GREEN Rd.

LOT 2
LOT SPLIT & CONSOLIDATION PLAT
Vol. 308, Pg. 3

HEBREW ACADEMY
APN: 2012-07030493
PPN: 741-09-003
2475 GREEN Rd.

RESIDUAL = 5.8064 Ac.

THE WAXMAN
CHABAD CENTER
APN: 2001-09070692
PPN: 741-09-051
2479 GREEN Rd.

S/L 8

S/L 7

S/L 6

S/L 5

S/L 4

S/L 1

ACCEPTANCE

THE UNDERSIGNED OWNERS OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS LOT SPLIT AND CONSOLIDATION PLAT AND ACKNOWLEDGE THAT THIS LOT SPLIT AND CONSOLIDATION PLAT WAS PREPARED AT THEIR REQUEST AND AUTHORIZE THE RECORDING THEREOF.

THE HEBREW ACADEMY

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY APPEARED THE HEBREW ACADEMY REPRESENTATIVE WHO ACKNOWLEDGE THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS THEIR FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO
THIS _____ DAY OF _____, 20____.

THE UNDERSIGNED, OWNER OF THE LAND SHOWN HEREON, DOES HEREBY ACCEPT THIS LOT SPLIT AND CONSOLIDATION PLAT, AND ACKNOWLEDGES THAT THIS LOT SPLIT AND CONSOLIDATION PLAT WAS PREPARED AT MY REQUEST AND AUTHORIZE THE RECORDING THEREOF.

BRIAN REUBEN & ADMIT GASTMAN

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY APPEARED THE ABOVE NAMED, BRIAN REUBEN & ADMIT GASTMAN, WHO ACKNOWLEDGED THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS THEIR FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO
THIS _____ DAY OF _____, 20____.

_____, NOTARY PUBLIC

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF BEACHWOOD, OHIO THIS _____ DAY OF _____, 20____.

CHAIRMAN

SECRETARY

APPROVED BY THE CITY ENGINEER OF THE CITY OF BEACHWOOD, OHIO THIS _____ DAY OF _____, 20____.

CITY ENGINEER

BOUNDARY CERTIFICATION:

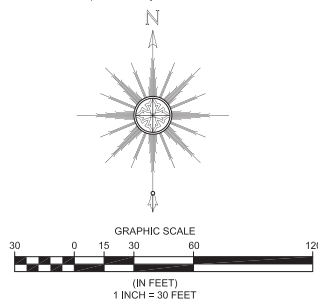
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE AND THE DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF, ALL OF WHICH ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IRON MONUMENTS OR PINS AS INDICATED WERE FOUND OR SET AS SHOWN HEREON. THE TERM CERTIFY AS USED IN THIS STATEMENT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THE SURVEYOR WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS REVEALED BY A EXAMINATION OF THE SAME. ALL IRON PINS SET ARE 5/8" X 30" LONG REBAR WITH A PLASTIC CAP STAMPED "POLARIS". BEARINGS REFER TO THE OHIO COORDINATE SYSTEM OF 1983 - NORTH ZONE 1986 ADJUSTMENT.

Richard A. Thompson Jr.
RICHARD A. THOMPSON, JR., P.S. #7388



BRENTWOOD
ROAD 50'

RANCH ROAD 60'



DATE: 9/14/2021 DRAWN: RMK
SCALE: HOR. 1"=30', VERT. N/A
FOLDER: _DWG\Prod_Surveying
FILENAME: _Survey Base
TAB: 01 of 01
BNDY, CHK: _RAT-9/13/2021
BASE, CHK: N/A

23303 RANCH ROAD

CITY OF BEACHWOOD - CUYAHOGA COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
CHARDON, OHIO 44024
(440) 944-8433 (440) 944-3722 (fax)
www.polaris-es.com



LOT SPLIT &
CONSOLIDATION PLAT

CONTRACT No.

11100

SHEET 01 OF 01

TUESDAY, SEPTEMBER 14, 2021
LEGAL DESCRIPTION OF PARCEL "A"

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, AND STATE OF OHIO, AND KNOWN AS BEING PART OF LOT 18 OF ORIGINAL WARRENSVILLE TOWNSHIP, FURTHER KNOWN AS BEING PARCEL A AS SHOWN BY THE PLAT OF LOT SPLIT AND CONSOLIDATION RECORDED IN A.F.N. _____ OF CUYAHOGA COUNTY RECORDS AND CONTAINING 0.3439 ACRES (14,980 S.F.) OF LAND AS APPEARS BY SAID PLAT, BE THE SAME, MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS AND EASEMENTS OF RECORD.

POLARIS ENGINEERING & SURVEYING INC. – 34600 CHARON ROAD – WILLOUGHBY HILLS - OHIO

LEGAL DESCRIPTION
0.0574 ACRES

SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, AND STATE OF OHIO, AND FURTHER KNOWN AS BEING PART OF LOT 18, ORIGINAL WARRENSVILLE TOWNSHIP;

BEGINNING AT A DRILL HOLE IN A STONE FOUND IN A MONUMENT BOX ASSEMBLY AT THE INTERSECTION OF THE CENTERLINE OF BRENTWOOD ROAD (50 FEET WIDE) WITH THE CENTERLINE OF RANCH ROAD (60 FEET WIDE);

THENCE **SOUTH 89°08'38" WEST** ALONG THE CENTERLINE OF SAID RANCH ROAD, **255.07 FEET** TO A POINT;

THENCE **NORTH 00°51'22" WEST, 30.00 FEET** TO A 5/8 INCH IRON PIN FOUND AT THE SOUTHWEST CORNER OF LAND CONVEYED TO RONALD SHULMAN & ALIZZA DEAL-SHULMAN AS SHOWN BY DEED RECORDED AS AFN: 2020-01170441 OF CUYAHOGA COUNTY RECORDS (PPN: 741-09-029);

THENCE **NORTH 00°33'36" WEST** ALONG THE WESTERLY LINE OF SAID RONALD SHULMAN & ALIZZA DEAL-SHULMAN, **125.00 FEET** TO A 5/8 INCH IRON PIN FOUND AT THE NORTHWESTERLY CORNER THEREOF, SAID POINT ALSO BEING IN THE SOUTHERLY LINE OF LAND CONVEYED TO THE HEBREW ACADEMY AS SHOWN BY DEED RECORDED AS AFN: 2012-07030493 OF CUYAHOGA COUNTY RECORDS (PPN: 741-09-003), AND BEING THE PRINCIPAL PLACE OF BEGINNING;

COURSE 1: THENCE **SOUTH 89°08'38" WEST** ALONG SAID SOUTHERLY LINE, **100.00 FEET** TO A 5/8 INCH IRON PIN FOUND AT THE NORTHEASTERLY CORNER OF LAND CONVEYED TO ELANA & EITAN POLSTER AS SHOWN BY DEED RECORDED AS AFN: 2021-06240633 OF CUYAHOGA COUNTY RECORDS (PPN: 741-09-032);

COURSE 2: THENCE **NORTH 00°33'36" WEST, 25.00 FEET** TO AN IRON PIN SET;

COURSE 3: THENCE **NORTH 89°08'38" EAST, 100.00 FEET** TO AN IRON PIN SET;

COURSE 4: THENCE **SOUTH 00°33'36" EAST, 25.00 FEET** TO THE PRINCIPAL PLACE OF BEGINNING AND CONTAINING 0.0574 ACRES OF LAND, SUBJECT TO ALL LEGAL HIGHWAYS AND EASEMENTS OF RECORD. CALCULATED AND DESCRIBED IN SEPTEMBER, 2021 BY RICHARD A. THOMPSON JR., OHIO REGISTERED PROFESSIONAL LAND SURVEYOR #7388 OF POLARIS ENGINEERING AND SURVEYING INC. THIS DESCRIPTION HAS BEEN MADE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE. ALL DIMENSIONS ARE BASED ON THE U.S. SURVEY FOOT DEFINITION. BEARINGS REFER TO THE OHIO STATE COORDINATE SYSTEM OF 1983 (NORTH ZONE) BASED ON THE ODOT CORS/VRS SYSTEM NAD83 (2011) DATUM. ALL IRON PINS SET ARE 5/8 INCH DIAMETER BY 30-INCH-LONG REBAR WITH IDENTIFICATION CAP.



Richard A. Thompson Jr.

RICHARD A. THOMPSON JR., OHIO REGISTERED
PROFESSIONAL LAND SURVEYOR #7388
9/14/2021

S:\2011 PROJECTS\11100- 23303 RANCH RD ADDITION - BEACHWOOD - CALDERWOOD (CWS)\PROJECT SUPPORT
WORK\LEGALS AND SURVEY DOCUMENTS\SPLIT A LEGAL DESCRIPTION (9.14.21).DOC

Tactical Planning, LLC

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: March 18, 2022

RE: **P&Z 2022-04** **Joseph Calderwood, Architect**
Brian Reuben and Admit Gastman
The Hebrew Academy
23303 Ranch Road



This request is for approval of a lot split and consolidation plat that would transfer a strip of land 25 feet in depth and 100 feet wide from The Hebrew Academy to the adjacent Reuben and Gastman parcel. The intent of the lot split and consolidation is to add additional depth to the Reuben and Gastman parcel for the purpose of building an addition on the rear of their home. The applicants are seeking this lot split and consolidation as an alternative to requesting a rear setback variance.

On one other occasion the Planning and Zoning Commission approved such a lot split and consolidation to provide additional building area on the rear of a lot located on Brentwood Road. In that instance, none of the minimum required building or parking setbacks for The Hebrew Academy were impacted. In this instance, the parking setback would be reduced from 80 feet to 55 feet. (See the attached aerial)

Although the standard minimum side and rear setbacks for buildings and parking for U-5 Districts where they abut U-1 Districts is 80 feet (Section 1124.04(b)(2)), The Hebrew Academy property is not zoned U-5. The Hebrew Academy was approved as a use variance in the U-1 District. At the time the use variance was approved in 1999, the former Board of Zoning Appeals included stipulations that established minimum setbacks for buildings and parking lots. One of those stipulations was a minimum parking lot setback of 80 feet from the residences on Ranch Road and a further requirement that the 80 feet be maintained as a landscaped buffer. In order to approve the lot split and consolidation plat as proposed, the Commission would need to amend the stipulations attached to the approval of the use variance in 1999. Without the modification of the prior setback stipulation, this lot split and consolidation plat cannot be approved.

P&Z 2022-04
Joseph Calderwood, Architect
Brian Reuben and Admit Gastman
The Hebrew Academy
23303 Ranch Road
March 18, 2022
Page 2

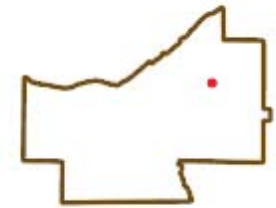
The Commission should note that modifying the current setback stipulation would also reduce the required parking setback from the dwellings on either side of the Reuben and Gastman property. In essence, the Commission would be reducing the parking setback as it impacts three parcels on Ranch Road as there is no apparent basis for making a distinction between the three parcels. Even so, it would appear that modifying the setback stipulation for The Hebrew Academy property with regard to the three Ranch Road properties would have very limited impact and would be more limited in scope when compared with granting a rear yard setback variance for the Reuben and Gastman lot when there are not unique or special physical characteristics of the subject subplot that can be identified as the basis for determining a practical difficulty. The latter approach could establish a precedent that might then impact the entire neighborhood.

Should the Commission wish to approve the lot split and consolidation plat, it should do so subject to the following stipulation:

1. That the parking setback and landscape buffer stipulation attached to the 1999 use variance for The Hebrew Academy property be modified to reduce the setback and buffer from 80 feet to 55 feet relative to the adjacent properties fronting on Ranch Road.



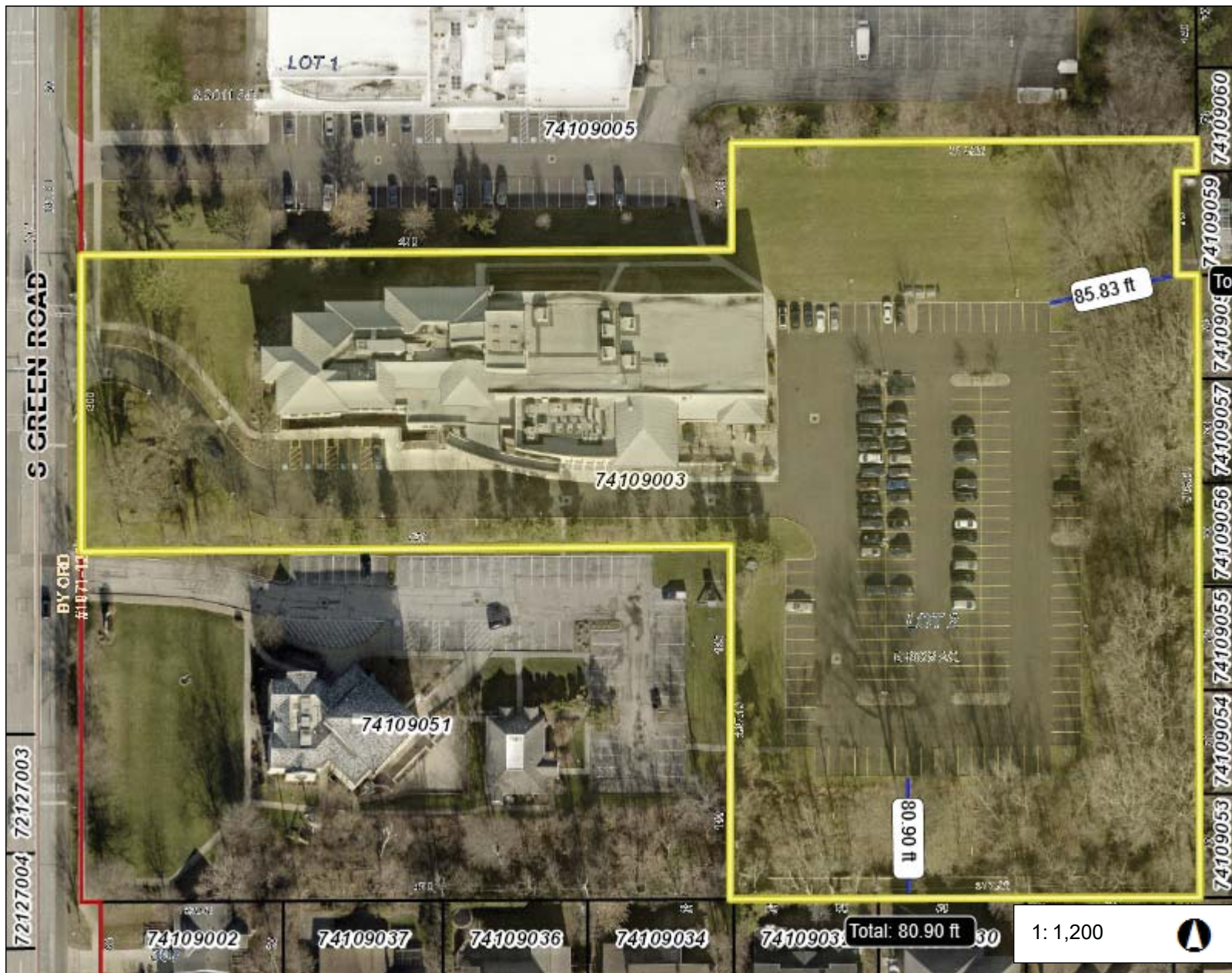
Cuyahoga County GIS Viewer



Date Created: 3/18/2022

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel



200 0 100 200 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Cuyahoga County
Enterprise GIS
PUTTING CUYAHOGA COUNTY ON THE MAP

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: March 31, 2022

Report Date: March 15, 2022

2021120.12

To: Mr. William B. Griswold
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 5

P & Z 2022-04 Joseph Calderwood, Architect, on behalf of Brian Reuben and Admit Gastman, property owner, is requesting preliminary and final approval for the lot split and consolidation of PPN 741-09-003, Hebrew Academy, and PPN 741-09-030, 23303 Ranch Road.

The property owner is acquiring a 25-foot X 100-foot parcel of land from the Hebrew Academy and consolidating into one parcel.

We have reviewed the Lot Split and Consolidation Plat and it meets all City and Cuyahoga County Standards.

We hereby recommend approval.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Shaun Lutz, Assistant Chief
Date: 03/14/2022
Re: P&Z # 22-04 – 23303 Ranch Rd – Lot Split

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Shaun Lutz

Shaun Lutz
Assistant Fire Chief

CITY OF BEACHWOOD

INTER-OFFICE MEMORANDUM

Police Department

Planning & Zoning Report

TO: Planning and Zoning Commission
FROM: Chief Katherine Dolan *KD*
DATE: 14 March 2022
RE: **P&Z 2022-04-5-6-7**

The police department has no questions or comments on P&Z 2022-04-5-6-7, which will be reviewed in the meeting on Thursday, March 31, 2023.

Planning and Zoning Commission 2022-04

Joseph Calderwood, Architect, on behalf of Brain and Admit Gastman, property owner, is requesting preliminary and final approval for the lot split and consolidation of PPN 741-09-003, Hebrew Academy, and PPN 741-09-030, 23303 Ranch Road.

Planning and Zoning Commission 2022-05

Anthony Majc, RSA Architects LLC, is requesting preliminary site plan approval for two (2) new pole buildings to be located at 23150 Commerce Park Road, Tremco East.

Planning and Zoning Commission 2022-06

Chad Kertesz, My Place Group, is requesting approval for the Text Amendment to create Zoning District U-4C, entitled "Integrated Multi-Use Residential Business District" (Council Meeting March 21, 2022).

Planning and Zoning Commission 2022-07

Chad Kertesz, My Place Group, property owner, is requesting approval to rezone PPN 742-29-017, 3663 Park East Drive, from U-9 Motor Service District to U-4C entitled "Integrated Multi-Family Residential Business District" (Council Meeting March 21, 2022).

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 2/28/22

OWNER OF BUILDING: TREMCO INCORPORATED PHONE: 216-292-5047

STREET ADDRESS: 3735 GREEN ROAD

CITY/STATE/ZIP: BEACHWOOD, OHIO 44122

APPLICANT: ANTHONY MAJC PHONE: 440-247-3990

COMPANY OR FIRM: RSA ARCHITECTS LLC

EMAIL: PERMITS@RSAARCHITECTS.COM

STREET ADDRESS: 10 NORTH MAIN STREET

CITY/STATE/ZIP: CHAGRIN FALLS, OHIO 44022

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

ANTHONY MAJC - AMAJC@RSAARCHITECTS.COM

DESCRIPTION OF THE PROPERTY:

ADDRESS: 23150 COMMERCE PARK ROAD SUITE # N/A

TENANT NAME: N/A

PERMANENT PARCEL # 742 - 22 - 004 PRESENT USE: OFFICE PROPOSED USE: OFFICE

PURPOSE OF APPLICATION: APPROVAL FOR TWO NEW POLE BUILDINGS, ONE FOR
PRODUCT DEMONSTRATION AND ONE FOR STORAGE.

NATURE OF THE REQUEST (check as many as apply):

- ☒ Preliminary site plan approval
☐ Final site plan approval
☐ Lot split
☐ Lot consolidation
☐ Conditional use permit
☐ Rezoning
☐ Zoning text amendment
☐ Other _____
☐ Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.
Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Primary Owner TREMCO INCORPORATED
Property Address 23150 Commerce Park RD Beachwood,OH 44122
Tax Mailing Address TREMCO INCORPORATED 3735 GREEN Rd BEACHWOOD, OH 44122
Legal Description 58 COMM PK DEV NWP 410FT NEC 0002
Property Class RESEARCH AND DEVELOPMENT FACILITIES
Parcel Number 742-22-004
Taxset Beachwood
Tax Year 2021

Assessed Values		Market Values		Flags	
Land Value	\$166,920	Land Value	\$476,900	Owner Occupancy Credit	N
Building Value	\$165,970	Building Value	\$474,200	Homestead Reduction	N
Total Value	<u>\$332,890</u>	Total Value	<u>\$951,100</u>	Foreclosure	N
Homestead Value	\$			Cert. Pending	N
				Cert. Sold	N
				Payment Plan	N
Half Year Charge Amounts		Rates		Escrow	
Gross Tax	\$20,244.71	Full Rate	121.63	Escrow	N
Less 920 Reduction	\$7,306.14	920 Reduction Rate	.360891	Payment Amount	\$.00
Sub Total	<u>\$12,938.57</u>	Effective Rate	77.7348		
10% Reduction Amount	\$.00				
Owner Occupancy Credit	\$.00				
Homestead Reduction Amount	\$.00				
Total Assessments	<u>\$176.82</u>				
Half Year Net Taxes	<u>\$13,115.39</u>				

Tax Balance Summary	Charges	Payments	Balance Due
	\$39,887.58	\$26,772.21	\$13,115.37

2021 (pay in 2022) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	Prior year tax - 2020	\$12,809.33	\$12,809.33	\$.00
	December interest - 2021	\$25.62	\$25.62	\$.00
	Prior year penalty - 2020	\$640.47	\$640.47	\$.00
	DELQ BALANCE	\$13,475.42	\$13,475.42	\$.00
	1st half tax	\$12,938.57	\$12,938.57	\$.00
	1ST HALF BALANCE	\$12,938.57	\$12,938.57	\$.00
	2nd half tax	\$12,938.57	\$.00	\$12,938.57
	2ND HALF BALANCE	\$12,938.57	\$.00	\$12,938.57
C100030C-SEWER MAINTENANCE				
	Prior year tax - 2020	\$88.40	\$88.40	\$.00
	DELQ BALANCE	\$88.40	\$88.40	\$.00
	1st half tax	\$88.41	\$88.41	\$.00
	1ST HALF BALANCE	\$88.41	\$88.41	\$.00
	2nd half tax	\$88.40	\$.00	\$88.40
	2ND HALF BALANCE	\$88.40	\$.00	\$88.40
C100030S-Sewer Maintenance				
	Prior year tax - 2020	\$88.40	\$88.40	\$.00
	December interest - 2021	\$.18	\$.18	\$.00
	Prior year penalty - 2020	\$4.42	\$4.42	\$.00
	DELQ BALANCE	\$93.00	\$93.00	\$.00
	1st half tax	\$88.41	\$88.41	\$.00
	1ST HALF BALANCE	\$88.41	\$88.41	\$.00
	2nd half tax	\$88.40	\$.00	\$88.40
	2ND HALF BALANCE	\$88.40	\$.00	\$88.40
Total Balance		\$39,887.58	\$26,772.21	\$13,115.37

* Taxes are updated within the hour

Information included on this report is believed to be accurate, but is not guaranteed. Cuyahoga County is not liable for errors or omissions.

APPLICANT: TREMCO EAST BLDG

P&Z: 3/31/22	ZONING DATA		DATE:
ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U-8	U-8	-
MINIMUM LOT AREA	1 ACRE MAX. 40% BLDG. COVERAGE	EXISTING, 1.99 ACRES ~26.52% COVERAGE +	-
MINIMUM LOT FRONTAGE	150-FT	~207'-5" EXISTING	-
MINIMUM FRONT YARD BUILDING SETBACK	75-FT	~75.68-FT EXISTING	-
MINIMUM SIDE YARD BUILDING SETBACK	50-FT COMBINED, 10-FT MINIMUM PER SIDE	~20.49-FT + ~36.46-FT = ~56.95-FT TOTAL	-
MINIMUM REAR YARD BUILDING SETBACK	40-FT	~177-FT	-
MAXIMUM BUILDING HEIGHT	42-FT	~16'-6" (EXISTING)	-
MINIMUM LANDSCAPED AREA	ALL PORTIONS OF REQUIRED YARDS w/o PARKING	ALL PORTIONS OF REQUIRED YARDS w/o PARKING +	-
MINIMUM PARKING SETBACKS	Front = 11-FT Side = 3-FT Rear = 3-FT	Front = ~100' EXIST. Side = ~8' EXIST. Rear = ~195' EXIST.	-
MINIMUM DRIVE AISLE	24'	~20' EXISTING	-
MINIMUM PARKING STALL	9' x 20'	9' x 20' EXISTING	-
MINIMUM OFF-STREET PARKING	300 SPACES REQUIRED FOR ENTIRE CAMPUS	341 SPACES PROVIDED	-
SITE DEVELOPMENT PLANS	PRELIMINARY & FINAL REQUIRED	PRELIMINARY PROVIDED	-

23150 COMMERCE PARK ROAD, BEACHWOOD, OH 44122 - PPN: 742-22-004



PROJECT SCOPE:

SCOPE OF WORK IS THE CONSTRUCTION OF TWO NEW WOOD-FRAMED ACCESSORY BUILDINGS AND AN OPEN WOOD DECK. ONE BUILDING IS TO BE A CONDITIONED STORAGE BUILDING AND ONE AN UNCONDITIONED PRODUCT DEMONSTRATION BUILDING.

BUILDING CODE DATA:

BUILDING.....2017 OHIO BUILDING CODE
FIRE CODE.....2017 OHIO FIRE CODE
MECHANICAL.....2017 OHIO MECHANICAL CODE
ELECTRICAL.....2017 NATIONAL ELECTRIC CODE (NEC) NFPA 70
PLUMBING.....2017 OHIO PLUMBING CODE
FUEL/GAS.....2015 INTERNATIONAL FUEL GAS CODE
ACCESSIBILITY.....2017 OHIO BUILDING CODE - CHAPTER 11 & CHAPTER 34
(ICC/ANSI A117.1 2009)
ENERGY CODE.....2017 OHIO ENERGY CODE & ASHRAE 90.1-2010 W/ 2013
APPENDIX

<u>CONSTRUCTION TYPE:</u>	5B
<u>FIRE SUPPRESSION:</u>	UNSPRINKLERED

PRIMARY STRUCTURAL FRAMING.....	0 HOURS
EXTERIOR BEARING WALLS.....	0 HOURS
INTERIOR BEARING WALLS.....	0 HOURS
NONBEARING WALLS & PARTITIONS.....	0 HOURS
ROOF CONSTRUCTION & ASDC, SECONDARY MEMBERS.....	0 HOURS
FLOOR CONSTRUCTION.....	0 HOURS

ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF RSA ARCHITECTS, LLC. AND SHALL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION.

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR OR SUBCONTRACTOR.

CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING DRAWINGS, PROJECT MANUAL AND ALL ADDENDA ON SITE.

UPON ENTERING INTO A CONTRACT WITH THE OWNER, THE CONTRACTOR CERTIFIES THAT HE HAS REVIEWED THE DOCUMENTS, DRAWINGS AND SPECIFICATIONS, AND ACCEPTS IN WHOLE THAT THESE DOCUMENTS ARE COMPLETE, AND INCLUDE ALL REQUIRED INFORMATION FOR THE PROPER EXECUTION OF THE PROJECT DESCRIBED THEREIN.

OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS BE FOUND, OR INQUIRIES RELATIVE TO THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS ARISE, THEY SHALL BE SUBMITTED TO THE ARCHITECT AND WILL BE ANSWERED BY ADDENDA. SUCH INSTRUCTIONS AND OTHER ADDENDA WILL BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS AND RE-BINDING TO THE CONTRACTOR.

ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES, ORDINANCES, AND ACCEPTABLE BUILDING STANDARDS, INCLUDING BUT NOT LIMITED TO THE MICHIGAN BUILDING CODE (M.B.C.), THE NATIONAL ELECTRIC CODE (N.E.C.), AND THE AMERICANS WITH DISABILITIES ACT (A.D.A.). THE CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.

GENERAL CONTRACTOR SHALL COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL SUBCONTRACTORS WITH ARCHITECTURAL AND STRUCTURAL DOCUMENTS.

GUARANTEE:

CONTRACTOR SHALL GUARANTEE THAT ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION OF ALL WORK, AND THAT ALL DEFECTS ARISING WITHIN THIS PERIOD OF TIME SHALL BE CORRECTED, REPAIRED OR REPLACED WITHIN 30 DAYS OF NOTIFICATION OF SUCH DEFECTS BY OWNER AND ARCHITECT.

THE CONTRACTOR SHALL CARRY FOR THIS PROJECT CONTRACTORS PUBLIC LIABILITY INSURANCE (INCLUDING PRODUCT AND COMPLETED OPERATIONS) IN THE AMOUNT OF NOT LESS THAN \$1,000,000.00 PER OCCURRENCE OF BODILY INJURY, AND THE SAME SHALL BE IN FULL FORCE AND EFFECT.

AT ALL TIMES WHILE WORK ON THE PROJECT IS IN PROGRESS, A REPRESENTATIVE OF THE CONTRACTOR OR SUBCONTRACTORS SHALL BE AT THE SITE AUTHORIZED TO ANSWER QUESTIONS OR RECEIVE INSTRUCTIONS FROM THE OWNER OR ARCHITECT.

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING THEIR BID TO REVIEW THE PROJECT WITH THE OWNER AND TO BECOME FAMILIAR WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF EXISTING CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

CS-1	COVER SHEET AND NOTES
AS-1	ARCHITECTURAL CAMPUS SITE PLAN
A-1	UNCONDITIONED STORAGE BUILDING DRAWINGS
A-2	CONDITIONED DEMONSTRATION BUILDING DRAWINGS
A-3	OPEN DECK DRAWINGS

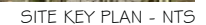
This section contains a legend of architectural symbols and a list of section cut types. The legend on the left lists 14 materials with their corresponding hatching patterns: Earthfill, Porridge Fill, Concrete, Concrete Block (CMU), Brick Veneer, Stone Veneer, Dimensional Lumber, Wood Blocking, Plywood, Batt Insulation, Rigid Insulation, Gypsum Board/Drywall, Partition (Plan), and Level/Elevation/Datum. The list on the right defines six types of section cuts: Wall Section Cut, Wall Section, Detail Cut, Detail (Scale 1/8" = 1'-0"), Building Section Cut, Building Section, and Interior Elevation View/Interior Elevation (Scale 1/8" = 1'-0"). Each type includes a symbol and a label for the drawing number.

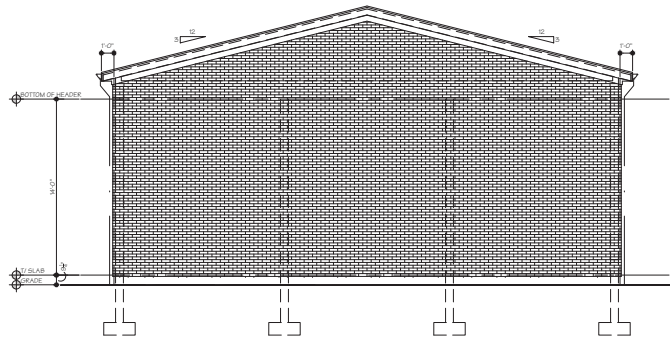
LEGEND

- EARTHFILL
- PORRIDGE FILL
- CONCRETE
- CONCRETE BLOCK (CMU)
- BRICK VENEER
- STONE VENEER
- DIMENSIONAL LUMBER
- WOOD BLOCKING
- PLYWOOD
- BATT INSULATION
- RIGID INSULATION
- GYPSUM BOARD/DRYWALL
- PARTITION (PLAN)
- LEVEL/ELEVATION/DATUM

SECTION CUT TYPES

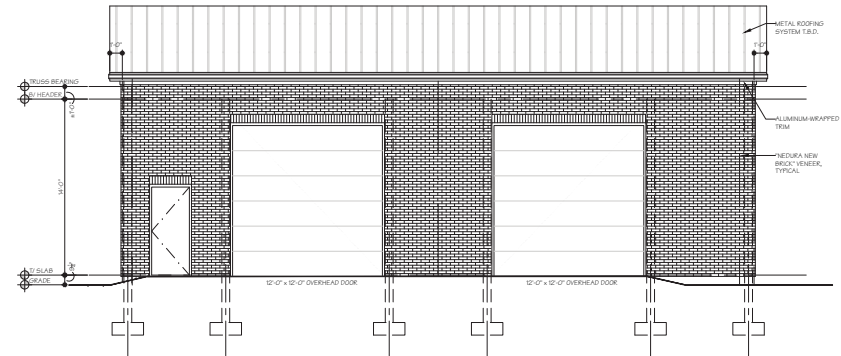
- WALL SECTION CUT
DRAWING NUMBER
- WALL SECTION
DRAWING NUMBER
- DETAIL CUT
DRAWING NUMBER
- DETAIL
SCALE 1/8" = 1'-0"
DRAWING NUMBER
- BUILDING SECTION CUT
DRAWING NUMBER
- BUILDING SECTION
DRAWING NUMBER
- INTERIOR ELEVATION VIEW
INTERIOR ELEVATION
SCALE 1/8" = 1'-0"
DRAWING NUMBER





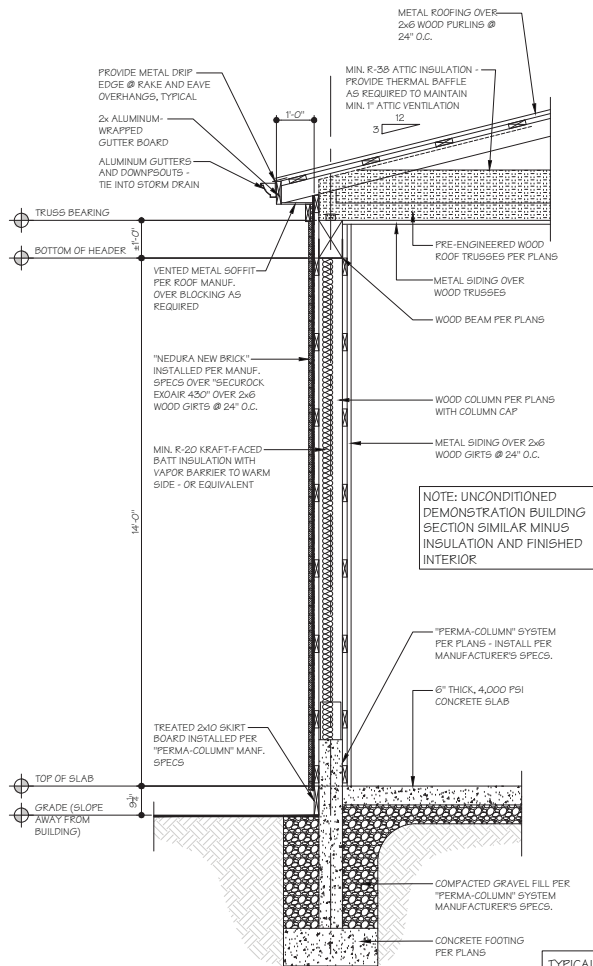
DEMONSTRATION BLDG. GABLE ELEVATION

1/4" = 1'-0" 3



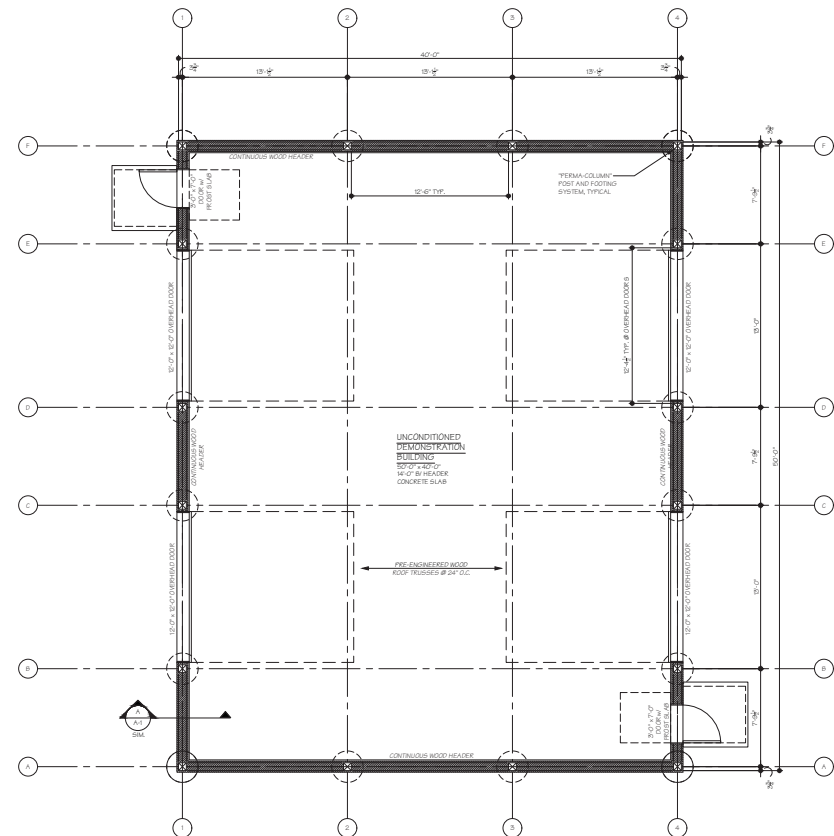
DEMONSTRATION BLDG. SIDE ELEVATION

1/4" = 1'-0" 2



TYPICAL WALL SECTION

3/4" = 1'-0" A



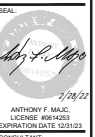
DEMONSTRATION BUILDING BASE CONSTRUCTION PLAN

1/4" = 1'-0" 1

TREMCO EAST BUILDING
ACCESSORY BUILDING ADDITIONS

22950 COMMERCE PARK RD.
CLEVELAND, OHIO 44122

RSA ARCHITECTS, LLC
10 NORTH MAIN STREET
CHAGRY HILLS, OHIO 44022
PHONE: 216.462.1900
FAX: 440.521.5285
WWW.RSAARCHITECTS.COM



CONSULTANT

SHEET NO. DATE

1 1/24/20

DATE	BY	REVISION
1/24/20	AM	1.00
1/24/20	AM	1.01
1/24/20	AM	1.02
1/24/20	AM	1.03
1/24/20	AM	1.04
1/24/20	AM	1.05
1/24/20	AM	1.06
1/24/20	AM	1.07
1/24/20	AM	1.08
1/24/20	AM	1.09
1/24/20	AM	1.10

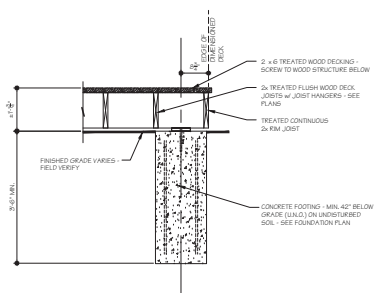
PROJECT # 21106

DEMONSTRATION
BLDG. DWGS.

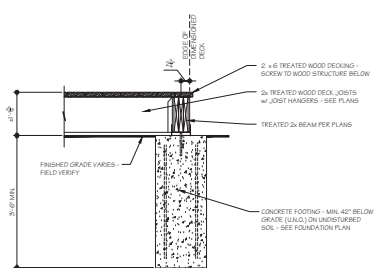
SHEET NUMBER

A-1

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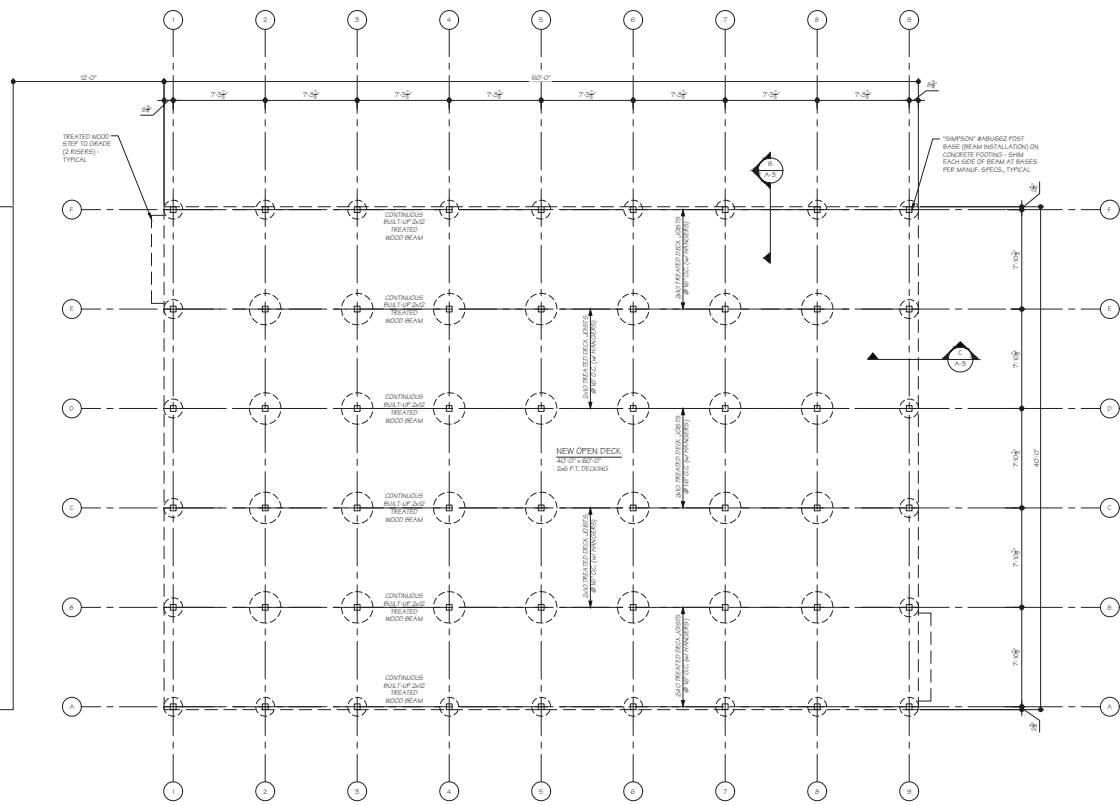


DECK SECTION 3/4" = 1'-0" C



DECK SECTION 3/4" = 1'-0" B

CONDITIONED
STORAGE
BUILDING
SEE SHEET 0.2



OPEN DECK FOUNDATION PLAN

1/4" = 1'-0" 1

**TREMCO EAST BUILDING
ACCESSORY BUILDING ADDITIONS**
22950 COMMERCE PARK RD.
CLEVELAND, OHIO 44122

RSA ARCHITECTS, LLC
10 NORTH MAIN STREET
CLEVELAND, OHIO 44122
PHONE: 216.763.1990
FAX: 216.763.1990
WWW.RSAARCHITECTS.COM



ANTHONY F. MACLENNAN
LICENSE #14243
EXPIRATION DATE 12/31/2017
CONSULTANT

BULLETIN DATE

DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	
DATE OF REVISION	

PROJECT # 21106

**OPEN DECK
PLAN & SECTION**

SHEET NUMBER

A-3

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Tactical Planning, LLC

Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: March 19, 2022

RE: **P&Z 2022-05** **RSA Architects, LLC**
Tremco Incorporated
3735 Green Road



This request is for preliminary site development plan approval for the addition of two accessory buildings and an open deck to the existing campus. The subject site is in the U-8 Industrial and Office Mixed-Use District. The applicant is proposing the buildings as pole buildings without utilities. One of the buildings is proposed for use as a demonstration facility. The demonstration building is 2000 square feet in area (40' x 50') and approximately 20 feet in height. The second proposed building is for storage. The storage building is 2880 square feet in area (40' x 72') and is also approximately 20 feet in height. The applicant is also proposing to construct an open deck. The purpose of the deck is not stated in the application. The deck is 2400 square feet in area (40' x 60'). The drawings indicate that the buildings will be clad with a brick veneer and will have metal roofs. The two accessory buildings and deck are to be located in the southeast corner of the Tremco campus. The proposed buildings will comply with the minimum setback, maximum height, and maximum building ground coverage requirements of the U-8 District.

Preliminary site development plan approval is recommended subject to any comments of the City Engineer and Fire Department.



GPD GROUP®
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544

fax 216.518.5545

www.gpdgroup.com

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: March 31, 2022

Report Date: March 15, 2022

2021120.12

To: Mr. William B. Griswold
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 6

P & Z 2022-05 Anthony Majc, RSA Architects LLC, is requesting preliminary approval for two (2) new pole buildings to be located at 23150 Commerce Park Road, Tremco East.

The proposed pole buildings are acceptable and are recommended for preliminary approval.

For final approval we will need the following.

1. Geometric, grading and utility plans
2. Stormwater management plan for construction.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Shaun Lutz, Assistant Chief
Date: 03/14/2022
Re: P&Z # 22-05 – 23150 – Tremco pole buildings

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Shaun Lutz

Shaun Lutz
Assistant Fire Chief



25325 Fairmount Blvd • Beachwood, Ohio 44122

Phone (216) 292-1914 • Fax (216) 292-1917

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 02.28.2022

OWNER OF BUILDING: 3663 Park East My Place LLC PHONE: 216.373.7400

STREET ADDRESS: 3663 Park East Drive

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Chad Kertesz PHONE: 216.544.3822

COMPANY OR FIRM: My Place Group

EMAIL: chad@myplacecleveland.com

STREET ADDRESS: 3500 Lorain Avenue Suite 100

CITY/STATE/ZIP: Cleveland, Ohio 44113

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Denver Brooker, denver.brooker@vocon.com; Chad Kertesz, chad@myplacecleveland.com;
Aaron Evencik, aevenchik@hahnlaw.com, Jon Tremontozzi, jtremontozzi@landwiseadvisors.com

DESCRIPTION OF THE PROPERTY: + Greg Shumate, gshumate@desman.com

ADDRESS: 3663 Park East Drive SUITE # _____

TENANT NAME: Park Place of Beachwood

PERMANENT PARCEL # 742 - 29 - 017 PRESENT USE: Hotel PROPOSED USE: Mixed-Use

PURPOSE OF APPLICATION: Re-zoning of property from U9 to U4C

NATURE OF THE REQUEST (check as many as apply):

☒ Preliminary site plan approval

☐ Final site plan approval

☐ Lot split

☐ Lot consolidation

☐ Conditional use permit

☒ Rezoning

☒ Zoning text amendment

☐ Other _____

☐ Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

See attached letter, classification of uses and revised zoning code for U-4C

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

***** (OVER) CONTINUED ON BACK *****

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

Chad Kertesz
PRINTED NAME

02-28-2022
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No.

MEETING DATE: 3/31/22

FEE: RECEIPT # 2022-01844 AMOUNT \$ 5035⁰⁰ DATE PAID 3/1/22

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: ☐ YES ☐ NO Meeting Date: _____

Building & Community Development Department
William Griswold, Building & Community Development Director
Phone (216) 292-1914 • Fax (216) 292-1917

Primary Owner	3663 PARK EAST MY PLACE LLC
Property Address	3663 Park East DR Beachwood,OH 44122
Tax Mailing Address	3663 PARK EAST MY PLACE LLC 2019 CENTER ST CLEVELAND, OH 44113
Legal Description	60 SP 1785.36FT NP & PT VAC ST
Property Class	HOTELS
Parcel Number	742-29-017
Taxset	Beachwood
Tax Year	2021

Assessed Values

Land Value	\$1,293,740
Building Value	\$2,940,880
Total Value	<u>\$4,234,620</u>
Homestead Value	\$

Market Values

Land Value	\$3,696,400
Building Value	\$8,402,500
Total Value	<u>\$12,098,900</u>

Flags

Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Half Year Charge Amounts

Gross Tax	\$257,528.42
Less 920 Reduction	\$92,939.75
Sub Total	<u>\$164,588.67</u>
10% Reduction Amount	\$0.00
Owner Occupancy Credit	\$0.00
Homestead Reduction Amount	\$0.00
Total Assessments	<u>\$560.64</u>
Half Year Net Taxes	<u>\$165,149.31</u>

Rates

Full Rate	121.63
920 Reduction Rate	.360891
Effective Rate	77.7348

Escrow

Escrow	N
Payment Amount	\$0.00

	Charges	Payments	Balance Due
Tax Balance Summary	\$330,298.60	\$172,944.97	\$157,353.63

2021 (pay in 2022) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	1st half tax	\$164,588.67	\$164,588.67	\$0.00
	1ST HALF BALANCE	\$164,588.67	\$164,588.67	\$0.00
	2nd half tax	\$164,588.67	\$7,795.66	\$156,793.01
	2ND HALF BALANCE	\$164,588.67	\$7,795.66	\$156,793.01
C100030C-SEWER MAINTENANCE				
	1st half tax	\$280.32	\$280.32	\$0.00
	1ST HALF BALANCE	\$280.32	\$280.32	\$0.00
	2nd half tax	\$280.31	\$0.00	\$280.31
	2ND HALF BALANCE	\$280.31	\$0.00	\$280.31
C100030S-Sewer Maintenance				
	1st half tax	\$280.32	\$280.32	\$0.00
	1ST HALF BALANCE	\$280.32	\$280.32	\$0.00
	2nd half tax	\$280.31	\$0.00	\$280.31
	2ND HALF BALANCE	\$280.31	\$0.00	\$280.31
		Charges	Payments	Balance Due
Total Balance		\$330,298.60	\$172,944.97	\$157,353.63

* Taxes are updated within the hour

DRAFT

INTRODUCED BY:

ORDINANCE NO. 2022-41

AN ORDINANCE AMENDING THE CITY OF BEACHWOOD, OHIO PLANNING AND ZONING CODE BY AMENDING CHAPTER 1111 TITLED “DISTRICTS AND ZONE MAP GENERALLY” AND ADDING NEW CHAPTER 1122 TITLED “U-4C INTEGRATED MIXED USE, MULTI-FAMILY RESIDENTIAL, OFFICE, RETAIL, RECREATION BUSINESS DISTRICT”

WHEREAS, My Place Group has requested an amendments to the City of Beachwood Planning and Zoning Code by amending Chapter 1111 and adding new Chapter 1122; and

WHEREAS, it is Council’s desire to refer said requested amendments to its Planning and Zoning Commission for study and a report and recommendation in accordance with BCO 1107.01.

NOW , THEREFORE, BE IT ORDAINED by the Council of the City of Beachwood, County of Cuyahoga, and State of Ohio that:

Section 1: The Council of the City of Beachwood, having received a request for an amendment to the City’s Planning and Zoning Code, a copy of which is attached hereto and incorporated herein as Exhibit “A” and Exhibit “B”, does hereby place said proposed amendments on first reading, and refers the proposed amendments to the Planning and Zoning Commission for its report and recommendation.

Upon receipt of the report and recommendation of the Planning and Zoning Commission, the issue of the within the zoning amendments shall be set for a Public Hearing on the ___ day of _____, 2022 at Beachwood City Hall, Council Chambers, and shall be read by Council on three separate occasions.

Section 2: The Clerk of Council is directed to advertise this hearing in a newspaper of general circulation in the City for a period of not less than thirty (30) days prior to the Public Hearing, setting forth the substance of the proposed amendment.

Section 3: It is found and determined that all formal actions and deliberations of Council and its committees relating to the passage of this legislation that resulted in formal action were in meetings open to the public where required by Chapter 105 of the Codified Ordinances of the City.

WHEREFORE, this Ordinance shall be in full force and effect from and after the earliest date permitted by law.

Attest: I hereby certify this legislation was duly adopted on the ___ day of _____, 2022 and presented to the Mayor for approval or rejection in accordance with Article III, Section 8 of the Charter on the ___ day of _____, 2022.

Clerk

Approval: I have approved this legislation this ___ day of _____, 2022 and filed it with the Clerk.

Mayor



February 28, 2022

Clerk of City Council
City of Beachwood
25325 Fairmount Blvd
Beachwood, Ohio 44122

RE: Submission for Request for Rezoning / Request for Site Plan Approval / Submission of Revised Zoning for Map and Text Amendment

Dear Clerk of City Council:

On behalf of 3663 Park East My Place, LLC, we are submitting an exciting transformational redevelopment plan for the former Double-Tree hotel located at 3663 Park East, Beachwood, Ohio. We envision a mixed-use development that will enable an adaptive re-use of the existing structure. Our development will provide a mixed-use, multi-family development consistent with adjacent new multi-family projects, including the Astor and 3800 Park East. Enclosed with this letter are a) copies of the proposed redevelopment plan, and b) suggested modifications to the zoning code and new zoning code sections to enable the plan to move forward.

As detailed below, we request City Council refer our rezoning (map and text) and development plan approval to the Planning Commission to begin the review and approval process. We remain available to discuss our proposal with City officials at any time.

The 2015 Master Plan acknowledges the need for development (and redevelopment) of the Chagrin Highlands area. The area is now home to large employers including Eaton, Cleveland Clinic, and the expanding Ahuja hospital, among others. Consistent with that, we desire to redevelop 3663 Park East into a facility that will 1) provide high-end rental housing (demand being proven with the Astor, Van Akin, 3800 Park and similar projects), and 2) restaurants, high end retail, and compatible commercial on Park East (which is lacking any real retail space), 3) office space, and 4) exquisite outdoor spaces. The 2015 Master Plan includes vision statements such as:

- Promote mixed-use redevelopment of the Chagrin Blvd corridor and other outdated commercial areas to encourage re-use and growth where industry and jobs currently exist.
- Redevelop the Richmond Road corridor to support new, higher-density residential neighborhoods.
- Incentivize housing that accommodates future needs and grows the City's population.
- Avoid putting small apartments near single-family neighborhoods.
- Mixed use should be limited to corridors that are distinct from existing single-family neighborhoods.
- Remove zoning barriers to adaptive reuse of older buildings.

Our proposed plan satisfies all these criteria. We propose taking a hotel, which considering the new hotels near Pinecrest and convention facilities downtown, is no longer a viable long term use, and redeveloping it into a beating heart for the Park East area. We will provide food, housing,



services, and amenities to the Park East/Chagrin/Richmond corridor. We believe our plan will help stabilize the adjacent properties, become a catalyst for adjacent investment, and ensure the Park East corridor's strong future.

The 2015 Master Plan acknowledged the need for new mixed use zoning districts, and our draft zoning for this new U-4C district is attached. We are requesting the City to a) approve and create a new U-4C district per the attached, b) rezone the subject property to the new U-4C classification, and c) approve the proposed site plan. The draft U-4C zoning code is designed specifically for the area currently zoned U-9, between Harvard and Chagrin, and away from single family residential.

Pursuant to Zoning Code § 1107.03(b), the following is the complete statement in support of rezoning the Property located at 3663 Park East Drive, Beachwood, Ohio 44122 ("Property") from a U-9 (Motor Service District) to a U-4C (Integrated Multi-Family Residential Business District) and approval of the site plan for the development of the Property ("Project"). If you believe additional information is required, please let us know.

The Property is located to the West of Interstate 271 just South of the Chagrin Boulevard exit. A Hertz Car Rental is on site and Civista Bank flanks the Property. The legal description is attached as Exhibit A.

The present use of the Property is as a hotel, conference center, catering/restaurant, and rental-car facility. The proposed use of the Property is a mixed-use development including local retail shops and commercial services, restaurants, offices, and multi-family as described in the new U-4C zoning classification. A proposed development plan/site plan is attached to this letter.

The vision for the Project is to create a vibrant mixed-use destination that will be home to active retail, residential, office, and public amenity uses. The current hotel will be transformed into approximately 181 luxury apartment units. The hotel drop-off, conference center, and restaurant will be demolished to make way for a new mixed-use building that will include approximately 27,606 gsf of office space and 151 new apartment units above approximately 35,935 gsf of ground floor destination retail space. The perimeter of the building will be designed to maintain fire access around the entire site, with carefully curated plaza and landscaped environments at the base of the building where the public will engage with the building. Multiple locations at the ground floor will provide breezeway access into the courtyard, creating a permeable exterior ring of retail and residential uses.

Nestled in the center of the development will sit a courtyard plaza that will provide retail tenants extended exterior space, public green spaces, retail kiosks, and amenities serving as the heart of the development. On the south side of the renovated luxury apartments will be a private amenity pool deck that will include a lap pool, relaxation pool and spa, fire pits, outdoor cooking areas, and cabanas creating an oasis for the residents of the entire development.

The surface parking that is planned to remain but will be augmented by a valet parking building at the southeast corner of the site. Vehicle lifts will be utilized within the building to



provide up to (4) car spaces for every (1) surface space, thereby providing the development with sufficient parking. We have engaged a parking consultant to help us confirm adequate parking, especially considering that much of the parking will be “shared” (i.e. residential at night and office/retail during the day).

The nature of the surrounding area has changed and is already saturated with high-end hotels located in proximity. The need for larger conference space in the area has also dwindled with the relocation of many major conferences to the downtown hotels and conference center. Continuing to operate a 404-room hotel and conference center in this area is not viable. Instead, the proposed development is a cutting edge, innovative way to incorporate mixed-use elements on an underutilized property in an area that has clear and presented demand for such uses.

General statement (in addition to the plans) of the type of building to be constructed, including height and square footage: The proposed development will consist of several buildings, 5 stories in total (which is consistent with the current building height). A box score with uses, square footage, unit counts, and parking counts is on the plans. The current hotel will be transformed into approximately 181 luxury apartment units. A new mixed-use building that will include approximately 27,606 gsf of office space and 151 new apartment units above approximately 35,935 gsf of ground floor destination retail space. The new mixed-use building will be constructed with a concrete first floor and four stories of wood construction. The new office building will be steel framed.

Estimated cost of the proposed improvements. Our preliminary estimate is that the cost of this redevelopment will be approximately \$125,000,000.00. We are looking to create a mutually beneficial public-private partnership with the City to establish a property tax abatement and/or TIF to make this a viable project. We expect the completed project will add between 50-150 new full-time jobs.

Info about Applicant: My Place Group is leading the project on behalf of 3663 Park East My Place, LLC. My Place has over 15 years’ experience and has successfully developed and re-developed projects all over greater Cleveland including apartments, residential and commercial spaces. My Places’ principal, Chad Kertesz comes from a family of proven and successful developers with generations of experience and commitment in this neighborhood. My Place engaged VOCON to serve as lead project architect as well as Sasaki to consult on the overall project and landscape design.

The attached plans and proposed new zoning code sections detail the proposed dimensions, and related setbacks. If there are questions please let us know.

The Property is surrounded by U-9 uses, which is limited to hotels, restaurants, office buildings, professional medical offices, and childcare centers, all of which are compatible with the proposed uses of the U-4C designation. The area also includes a U-4A site and a U-3C designation, and a U-7A site for 3800 Park East. The Property’s proposed uses will, of course, be compatible with adjacent districts and areas and will not adversely impact any single family residential housing areas.



My Place Group
3500 Lorain Avenue
Cleveland, OH 44113
www.myplacecleveland.com

The Planning Commission should recommend this Project for rezoning because it accomplishes the City's planning goals and achieves the most effective and appropriate land use for the area. The City's Master Plan's vision is to promote mixed-use redevelopment of the Chagrin Boulevard corridor and other outdated commercial areas to encourage and reuse and growth, to promote and support walkable neighborhoods, and to remove barriers to adaptive reuse of older buildings. This Project aligns with the City's vision and should be approved.

We look forward to working with this City on this project.

Sincerely,

Chad Kertesz

3663 Park East My Place, LLC

EXHIBIT A

LEGAL DESCRIPTION

Situated in the City of Beachwood, County of Cuyahoga, and State of Ohio:

And known as being a part of Original Lot 60 of said Warrensville Township, and being further bounded and described as follows:

Beginning at the point of intersection of the centerline of Richmond Road, and the centerline of Chagrin Boulevard;

Thence South 89 deg. 51' 20" East, along the centerline of said Chagrin Boulevard, a distance of 917.00 feet to a point, said point being the intersection of said Chagrin Boulevard, and the centerline of Park East Drive, as dedicated in Volume 219, page 35, of the Cuyahoga County Records;

Thence South 00 deg. 08' 40" West, along the centerline of Park East Drive, a distance of 473.00 feet to a point of curvature;

Thence along the arc of said curve deflecting to the left, 282.65 feet, said curve having a radius of 550.00 feet, and a chord which bears South 14 deg. 34' 40" East, 279.55 feet to a point of reverse curvature;

Thence along the arc of said curve deflecting to the right, 205.56 feet, said curve having a radius of 400.00 feet, and a chord which bears South 14 deg. 34' 40" East, 203.31 feet to its point of tangency;

Thence South 00 deg. 08' 40" West, along said centerline of Park East Drive, a distance of 193.75 feet to a point;

Thence South 89 deg. 51' 20" East, a distance of 30.00 feet to an iron pin found on the Easterly right-of-way of said Park East Drive, said point being the true place of beginning of the parcel herein described;

Thence North 87 deg. 46' 00" East, along the Southerly line of land conveyed to Parkway Medical Building Associates Partnership, as recorded in deed Volume 84-0130, page 49, of the Cuyahoga County Records, a distance of 613.88 feet to an iron pin set in the Westerly right-of-way of Interstate 271;

Thence South 03 deg. 33' 59" West, along said Westerly right of way of Interstate 271, a distance of 13.19 feet to an iron pin found;

Thence South 02 deg. 30' 14" East, along said Westerly right-of-way of Interstate 271, a distance of 459.78 feet to an iron pin set;

Thence along an arc of a curve, and continuing along said Westerly right-of-way of Interstate 271, a distance of 278.94 feet to an iron pin found at the Northeast corner of land conveyed to Park East Realty Company, as recorded in deed Volume 88-3594, page 1, of the Cuyahoga County Records, said curve having a radius of 12477.67 feet, a chord which bears South 00 deg. 17' 15" West, at 278.95 feet;

Thence North 82 deg. 00' 59" West, along the Northerly line of said Park East Realty Company land, a distance of 636.59 feet to an iron pin found on the Easterly line of aforesaid Park East Drive;

Thence North 00 deg. 08' 40" East, along the East right-of-way of said Park East Drive, a distance of 639.07 feet to the place of beginning, containing 9.9930 acres, be the same more or less, but subject to all legal highways.

Parcel No. 742-29-017

Property Address: 3663 Park East Drive, Beachwood, Ohio 44122

1111.01 DISTRICTS AND ZONE MAP GENERALLY.

For the purpose of regulating the location of trades, industries, residential houses and other uses of property, the number of square feet of lot area per family housed, the width of lots, the location and size of yards and the alignment of buildings upon street frontages, the City is hereby divided into the following classes of Use Districts, termed respectively:

- Class U-1 or Single-Family Residential District
- Class U-2A or Attached Single-Family Residential District
- Class U-3 or Multi-Family Residential District
- Class U-3A or High-Rise Apartment District
- Class U-3C or Planned Multi-Family Residential District
- Class U-4A or Integrated Business District
- Class U-4B or Shopping Center District
- Class U-4C or Integrated Multi-Family Residential Business District
- Class U-5 or Public and Institutional District
- Class U-7A or General Office Building District
- Class U-8 or Industrial and Office Mixed-Use District
- Class U-8A or Office Building and Research District
- Class U-9 or Motor Service District
- Class U-10 or Planned Mixed-Use Development District

1111.02 CLASSIFICATION OF USES.

For the purpose of this Code, the various uses to which buildings and premises can be devoted are divided into groups, classes and subdivisions as set forth in the following classification. These uses, hereinafter classified as Class U-1, Class U-2A, Class U-3, Class U-3A, Class U-3C, Class U-4A, Class U-4B, Class U-5, Class U-7A, Class U-8, Class U-8A, Class U-9 and Class U-10, are permitted under regulations herein set forth in the respective Use Districts allotted to such uses.

- (a) Class U-1 Uses.
 - (1) Single-Family Dwellings.
- (b) Class U-2A Uses.
 - (1) Attached Single-Family Dwellings.
- (c) Class U-3 Uses.
 - (1) Multi-Family Dwellings.
- (d) Class U-3A Uses.
 - (1) High-rise Multi-Family Dwellings.
- (e) Class U-3C Uses.
 - (1) Multi-Family Dwellings.
(Ord. 2011-170. Passed 3-19-12.)
- (f) Class U-4A Uses.
 - (1) Stores selling commodities at retail such as, but not necessarily limited to:

A. Groceries; supermarkets; bakeries; delicatessens. Such uses may be permitted curbside pickup provided that they first obtain a Site Development Plan approval. The number of spaces dedicated for curbside pickup shall be as authorized on the approved Site Development Plan.

B. Restaurants; Restaurants may be permitted outdoor dining areas and/or curbside pickup provided that they first obtain a Site Development Plan approval. The number of outdoor seats and/or spaces dedicated for curbside pickup shall be as authorized on the approved Site Development Plan.

C. Drug stores.

D. Wearing apparel stores.

E. Variety stores.

F. Paint and wall paper; hardware stores.

G. Furniture; household appliances; draperies; floor coverings.

H. Electronic appliances.

I. Florist; gift; jewelry, sporting goods stores.

(2) Service establishments such as, but not necessarily limited to:

A. Barbers; beauty shops, and nail salons.

B. Dry cleaning; laundries; tailor shops.

C. Appliance repair.

D. Banks and other financial institutions.

E. Exercise and training facilities.

F. Private schools and colleges.

G. Dance studios; photographic studios.

H. Printing shops; copy centers.

I. Child Day Care Centers pursuant to Section 1155.02.

J. Adult Day Care Centers pursuant to Section 1155.03.

K. Indoor recreation and athletic facilities,

L. Day spas, tanning salons, and massage therapy.

(3) Offices including medical offices.

(4) Hotels.

(5) Multi-Family Dwellings above the first floor with a Conditional Use Permit.

(6) Banks and drug stores may be permitted accessory drive-thru, drive-up, or pickup arrangements and facilities provided they first obtain a Conditional Use Permit.

(g) Class U-4B Uses.

(1) Shopping centers.

(h) Class U-4C Uses.

(1) Stores selling commodities at retail such as, but not necessarily limited to:

A. Groceries; supermarkets; bakeries; delicatessens; coffee and drink bars; bodegas; farmers markets; and food trucks. Such uses may include curbside pickup as shown on the Site Development Plan including areas or parking spaces dedicated for curbside pickup.

B. Restaurants; Restaurants; bars; coffee houses; delicatessens; bakeries; food courts; buffets; food halls; event spaces, including outdoor dining areas and/or curbside pickup as shown on the Site Development Plan.

C. Drug stores.

D. Wearing apparel stores.

E. Variety stores.

F. Boutique home good and decor stores.

G. Florist; gift; candles; jewelry; sporting goods stores.

H. Retails sales associated with wholesale businesses and showrooms, interior decorating and design services

I. Business services

J. Personal services

K. Entertainment, amusement and arcades including those that function as restaurants or bars and contain bowling, video games and similar use.

L. Compatible retail uses and stores.

(2) Service establishments such as, but not necessarily limited to:

A. Barbers; beauty shops, and nail salons.

B. Dry cleaning; laundries; tailor shops.

C. Indoor and outdoor recreation and athletic facilities,

D. Day spas, health spa, tanning salons, and massage therapy.

E. Dance studios and exercise and training facilities

F. Broadcast studios and associated soundstages

G. Art studios and galleries

H. Overnight pet care facilities

(3) Offices including medical offices and related facilities

(4) Multi-Family Dwellings

(5) Parks and recreation facilities

(6) Professional, administrative, executive, sales, governmental and public utility office.

(7) Wholesale and retail business and showrooms

(8) Hotels

(9) Automobile agencies, including sales, leasing, and rentals.

(10) Banks

(11) Billboards and advertising devices, both freestanding and on buildings, including to advertise and promote on-site uses and tenants

(12) Event and recreational spaces for on-site tenants (both residential and retail/office/commercial) and rental to non-tenants, including for parties, concerts, events, business shows, and similar uses.

(13) Additional uses and/or future uses that are compatible with those listed above

(i) Class U-5 Uses.

(1) Governmental facilities.

(2) Parks and public recreation facilities.

(3) Public and private schools and colleges.

(4) Nursing homes.

(5) Places of worship.

(6) Libraries.

(7) Museums.

(8) Community Centers.

(j) Class U-7A Uses.

(1) Professional, administrative, executive, sales (without samples and merchandising services), governmental and public utility offices.

(2) Services of a limited nature such as beauty and barber shops, photographic developing and blueprinting.

(3) Telephone exchanges.

(4) Child Day Care Centers pursuant to Section 1155.02.

(5) Adult Day Care Centers pursuant to Section 1155.03 .

(6) Licensed health care facilities with a Conditional Use Permit.

(7) Professional medical offices.

(8) Banks and other financial institutions.

(9) Restaurants; Restaurants may be permitted outdoor dining areas and/or curbside pickup provided that they first obtain a Site Development Plan approval. The number of outdoor seats and/or spaces dedicated for curbside pickup shall be as authorized on the approved Site Development Plan.

(10) Multi-Family Dwellings above the first floor with a Conditional Use Permit.

(k) Class U-8 Uses.

(1) Professional, administrative, executive, and sales offices.

(2) Professional medical offices.

(3) Licensed health care facilities.

(4) Research and development laboratories and testing facilities.

(5) Wholesale and retail businesses and showrooms.

(6) Retail sales associated with wholesale businesses and showrooms, interior decorating and design services, or with articles or goods created, manufactured, or assembled on the premises.

(7) Storage and distribution of finished or packaged goods subject to the provisions of Section 1129.07.

(8) Light manufacturing, fabrication and assembly operations.

(9) Business services.

(10) Personal services.

(11) Printing, publishing and engraving.

(12) Photographic studios, sales and processing.

(13) Copy, blueprinting and reproduction services.

(14) Interior decorating and design services and facilities.

(15) Postal facilities and package delivery services.

- (16) Public utility facilities.
- (17) Municipal facilities.
- (18) Financial institutions.
- (19) Child Day Care Centers pursuant to Section 1155.02.
- (20) Adult Day Care Centers pursuant to Section 1155.03.
- (21) Dance studios.
- (22) Recording and broadcast studios.
- (23) Art studios and galleries.
- (24) Athletic facilities, fitness centers, and health spas 8,000 square feet or less.
- (25) The following uses may be permitted with a Conditional Use Permit:
 - A. Schools and training facilities.
 - B. Athletic facilities, fitness centers, and health spas greater than 8,000 square feet.
 - C. Licensed health care facilities.
 - D. Restaurants provided, however, that no such use shall be established on a site requiring a parking variance to accommodate said use. Restaurants may be permitted curbside pickup. The number of spaces dedicated for pickup shall be as authorized in the Conditional Use Permit.
 - E. Daily and overnight pet care facilities provided that such facilities meet the following criteria:
 - 1. The maximum number of pet lodging units shall not exceed one (1) per each one hundred (100) square feet of gross floor area of the first floor of the building.
 - 2. Runoff from all lodging units and exercise areas shall be directed to the sanitary sewer system and not the storm sewer system.
 - 3. An outdoor exercise and relief area shall be provided which shall contain a minimum of 1200 square feet and shall be enclosed with an opaque fence eight feet (8') in height.
 - 4. No animals shall be permitted outdoors between the hours of 10:00 p.m. and 6:00 a.m.
 - 5. Wastes shall be controlled and collected on site and shall be properly removed at least two (2) times per week.
 - 6. There shall be no noise from animals measurable beyond the property boundary lines.
 - 7. There shall be a minimum of two (2) employees on site at all times.
 - 8. Parking spaces shall be provided at the rate of five (5) spaces plus one (1) space for each ten (10) lodging units at maximum capacity.
 - 9. The maximum number of daily or day care animals shall not exceed fifty percent (50%) of the approved number of lodging units.
 - 10. There shall be no grooming other than of pets which are being lodged for overnight stays.
 - 11. There shall be no retail sales of pet supplies or products.
 - 12. There shall be no pet training classes conducted on the premises.

13. The use shall not be so located as to have an adverse impact on the use, reuse, and/or redevelopment of any other property in the District.

F. Veterinary hospitals and clinics.

G. Multi-family residences provided that no dwelling units shall be located on the first or ground floor.

(l) Class U-8A Uses.

(1) Professional, administrative, executive, governmental and public utility offices.

(2) Licensed health care facilities with a Conditional Use Permit.

(3) Professional medical offices.

(4) Research and development laboratories or testing offices.

(5) Wholesale offices and showrooms.

(6) Manufacturing and assembling as permitted in Class U-8.

(7) Child Day Care Centers pursuant to Section 1155.02.

(8) Adult Day Care Centers pursuant to Section 1155.03.

(m) Class U-9 Uses.

(1) Gasoline service station limited to sites with frontage on Chagrin Boulevard only.

(2) Motels and hotels.

(3) Restaurants; Restaurants may be permitted outdoor dining areas and/or curbside pickup provided that they first obtain a Site Development Plan approval. The number of outdoor seats and/or spaces dedicated for curbside pickup shall be as authorized on the approved Site Development Plan.

(4) Automobile agencies limited to sites with frontage on Chagrin Boulevard and Central Parkway only.

(5) Banks.

(6) Office buildings.

(7) Child Day Care Centers pursuant to Section 1155.02.

(8) Adult Day Care Centers pursuant to Section 1155.03.

(9) Licensed health care facilities with a Conditional Use Permit.

(10) Professional medical offices.

(n) Class U-10 Uses.

(1) Office buildings.

(2) Licensed health care facilities with a Conditional Use Permit.

(3) Professional medical offices.

(4) Motels and hotels.

(5) Restaurants; Restaurants may be permitted outdoor dining areas and/or curbside pickup provided that they first obtain a Site Development Plan approval. The number of outdoor seats and/or spaces dedicated for curbside pickup shall be as authorized on the approved Site Development Plan.

(6) Motor vehicle service stations.

(7) Child Day Care Centers pursuant to Section 1155.02.

(8) Adult Day Care Centers pursuant to Section 1155.03.

(Ord. 2022-__. Passed __-__-22.)

CHAPTER 1122

U-4C Integrated Mixed Use, Multi-Family Residential, Office, Retail, Recreational Business District

1122.01 Intent.

1122.02 Permitted uses.

1122.03 Area, yard and height regulations.

1122.04 Off-street parking and loading facilities.

1122.05 Site development plans.

1122.06 Signs

CROSS REFERENCES

Districts established - see P. & Z. 1111.01

Nonconforming uses - see P. & Z. Ch. 1147

Certificates of occupancy - see BLDG. Ch. 1313

Building permits, fees and deposits - see BLDG. Ch. 1329

1122.01 INTENT.

The City of Beachwood 2015 Master Plan, called for the adoption of new mixed use zoning districts including those that are; walkable and friendly to pedestrians, promotes mixed-use redevelopment near the Chagrin Blvd corridor and other outdated commercial areas to encourage reuse and growth where industry and jobs currently exist, encourage redevelopment of the Richmond Road corridor to support higher-density residential neighborhoods, incentivize housing that accommodates future need and grows the City's population, provides different housing choices for young people, separates small-apartments from existing single family uses, promotes mixed use including multi-family, and to remove barriers to adaptive re-use of older buildings. The City recognizes the changing nature of the Park East corridor, situated between the Chagrin Blvd. corridor and Richmond Road corridor and creates this new U-4C district to rezone certain portions adjacent to I-271 and currently zoned U-9, to meet 2015 Master Plan goals and vision. This U-4C district is only designed as a possible rezoning for areas currently zoned U-9, located north of Harvard, south of Chagrin.

It is the intent of this Chapter (Class U-4C Districts) to provide for the establishment of a district for high density mixed-use, multi-family residential, office, retail, services, recreational, event space, hotel, apartments, and similar compatible uses. This District shall provide for the establishment of attractive and well-designed mixed-use developments which offer quality housing, offices, services, entertainment spaces, and recreation for nearly residents and office workers to create additional housing, office, and mixed-use opportunities including commercial and retail areas and for the City's primary employment centers.

1122.02 PERMITTED USES.

(a) Buildings and land in a Class U-4C District shall be used and buildings shall be designed, created, altered, or intended for the uses designated as Class U-4C uses in Section 1111.02, except that other similar harmonious and compatible uses as may be determined by the Commission and approved by Council may be permitted.

(b) Accessory uses customarily incident to the main uses listed above shall be permitted provided they are planned and developed in connection with the main building. Such accessory uses among those permitted under this section shall include:

(1) Parking garages and off-street parking and loading areas for residents, employees, guests, and customers as provided in this chapter.

(2) Maintenance and storage.

(3) All solid waste collection, compaction, storage or container facilities shall be located within or adjacent to the main building and physically separated from other uses by a wall, screen, fence, or similar partition, and otherwise designed to enable collection and pickup of the waste materials.

1122.03 AREA, YARD AND HEIGHT REGULATIONS.

(a) Area.

(1) The ground area occupied by the building shall not exceed fifty percent (50%) of the total area of the lot.

(2) Consistent with the current existing landscape plans on existing parcels, or ten percent (10%) of the total lot area, whichever is less, shall be developed as planted areas in accordance with a landscape plan as approved by Commission and shall be maintained in good condition. The total lot area may include elevated areas within the overall site including upper floor exterior spaces and gardens.

(3) The minimum lot width at the building setback line shall be one-hundred-fifty feet (150').

(b) Yards.

(1) A front yard of not less than twenty-five feet (25') shall be provided.

(2) Within a U-4C District, side yards shall be not less than five feet (5').

(3) The rear yard shall not be less than five feet (5').

(4) A landscape plan with screening as necessary from adjacent uses; where a U-4A area is adjacent to other U-4, U-5, U-7, U-8, U-9, or U-10 uses the presumption is that limited or no screening is required.

(c) Off-Street Parking and Loading in Yards. Accessory off-street parking in a front yard shall be permitted no closer than five feet (5') from a street line. Accessory off-street loading spaces in a front yard shall be permitted no closer than fifty feet (50') from a street line.

(1) Accessory off-street parking and driveways in a side or rear yard shall be permitted no closer than five feet (5') from a property line or thirty feet (30') from a U-1, U-2, or U-3 residential District line. Accessory off-street loading in a side or rear yard shall be permitted no closer than five feet (5') from a property line or fifty feet (50') from a U-1, U-2, or U-3 residential District line.

(d) Height. Building height shall not exceed seventy-five feet (75), exclusive of towers, cornices or similar features.

1121.04 OFF-STREET PARKING AND LOADING FACILITIES.

Off-street parking and loading facilities shall be provided in accordance with Chapter 1144, except for the following:

- (a) A parking space shall be not less than one hundred and sixty-two (162) square feet (minimum of nine feet (9') by eighteen feet (18') exclusive of drives and turning space;
- (b) The number of parking spaces may be reduced to account for shared parking associated with mixed-use facilities, so long as the number of parking spaces is supported by a parking study.
- (c) A minimum of one (1) square foot of landscaped area shall be provided within the parking area for each one hundred (100) square feet of vehicle use area; but this area may be reduced further to match landscaped areas in adjacent buildings and developments.
- (d) Only one (1) off-street parking space shall be required for each bedroom in Multi-Family Dwellings instead of two (2) spaces per Dwelling Unit.
- (e) Except as may be modified by the shared parking study detailed above, parking for office shall be one (1) space for each two hundred and fifty (250) square feet, parking for retail/commercial shall be one (1) space for each two hundred (200) square feet, and parking for restaurant space shall be one (1) space for every two (2) seats .

1121.05 SITE DEVELOPMENT PLANS.

Preliminary and final Site Development Plans are required and shall be prepared for all proposed developments in a Class U-4C District. Site Development Plans shall be prepared and reviewed in accordance with the provisions of Chapter 1108.

This section supersedes anything inconsistent elsewhere in the code, including but not limited to Chapters 1143, 1144, 1145, 1146, 1155,

1121.06 Signs

Notwithstanding section 1141, signs may be approved as part of the overall site development plan. Signs may include large building mounted electric signs or adjacent pedestal or freestanding signs, signs advertising the overall site and site tenants, and similar signs. Signage may be approved as part of the initial site development plan.

(Ord. 2022-__ Passed __-__-2.)

Tactical Planning, LLC

Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: March 21, 2022

RE: **P&Z 2022-06** **My Place Group**
Text Amendment to Zoning Code



This request is for approval of a proposed text amendment to create a new zoning district classification. The applicant proposes to amend the Zoning Code by adding a district designated as U-4C and titled Integrated Multi-Use Residential Business District. This proposal includes a companion request (P&Z 2022-07) to rezone approximately 10 acres of land into this proposed new zoning district. The intent is to create a new mixed-use development that includes multi-family residential, office, retail, and commercial service uses.

The language of the proposed Code amendment is designed to accommodate the proposed site development plan which accompanies the rezoning request. Therefore, before getting into a detailed section by section review of the text amendment, it is first necessary for the Commission and Staff to review and discuss the overall concept of the district and the specifics of the proposed development plan. Depending on the Commission's acceptance of the overall development concept and your reaction to various elements of the proposed site development plan, comments and/or modifications to the text language could vary greatly. Thus we have not prepared a section by section analysis of the proposed text language for this meeting.

Once the Commission has had an opportunity to hear the development proposal and discuss the particular elements of the plan, we will be in a better position to address specific comments with regard to both the proposed text amendment language and the site development plan at either the Commission's next meeting or a work session on this matter.



GPD GROUP®
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544

fax 216.518.5545

www.gpdgroup.com

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: March 31, 2022

Report Date: March 15, 2022

2021120.12

To: Mr. William B. Griswold
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 7

P & Z 2022-06 **Chad Kertesz, My Place Group, is requesting approval of the Text Amendment to create Zoning District U-4C, entitled "Integrated Multi-Use Residential Business District"**

There are no Engineering Comments on this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Shaun Lutz, Assistant Chief
Date: 03/14/2022
Re: P&Z # 22-06 – Zoning Change

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Shaun Lutz

Shaun Lutz
Assistant Fire Chief



25325 Fairmount Blvd • Beachwood, Ohio 44122

Phone (216) 292-1914 • Fax (216) 292-1917

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 02.28.2022

OWNER OF BUILDING: 3663 Park East My Place LLC PHONE: 216.373.7400

STREET ADDRESS: 3663 Park East Drive

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Chad Kertesz PHONE: 216.544.3822

COMPANY OR FIRM: My Place Group

EMAIL: chad@myplacecleveland.com

STREET ADDRESS: 3500 Lorain Avenue Suite 100

CITY/STATE/ZIP: Cleveland, Ohio 44113

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Denver Brooker, denver.brooker@vocon.com; Chad Kertesz, chad@myplacecleveland.com;
Aaron Evencik, aevenchik@hahnlaw.com, Jon Tremontozzi, jtremontozzi@landwiseadvisors.com

DESCRIPTION OF THE PROPERTY: + Greg Shumate, gshumate@desman.com

ADDRESS: 3663 Park East Drive SUITE # _____

TENANT NAME: Park Place of Beachwood

PERMANENT PARCEL # 742 - 29 - 017 PRESENT USE: Hotel PROPOSED USE: Mixed-Use

PURPOSE OF APPLICATION: Re-zoning of property from U9 to U4C

NATURE OF THE REQUEST (check as many as apply):

☒ Preliminary site plan approval

☐ Final site plan approval

☐ Lot split

☐ Lot consolidation

☐ Conditional use permit

☒ Rezoning

☒ Zoning text amendment

☐ Other _____

☐ Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

See attached letter, classification of uses and revised zoning code for U-4C

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

***** (OVER) CONTINUED ON BACK *****

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

Chad Kertesz
PRINTED NAME

02-28-2022
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No.

MEETING DATE: 3/31/22

FEE:

RECEIPT # 2022-01844

AMOUNT \$ 5035⁰⁰

DATE PAID 3/1/22

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: ☐ YES ☐ NO Meeting Date: _____

Building & Community Development Department
William Griswold, Building & Community Development Director
Phone (216) 292-1914 • Fax (216) 292-1917

DRAFT

INTRODUCED BY:

ORDINANCE NO. 2022-42

AN ORDINANCE REZONING 3663 PARK EAST DRIVE, BEACHWOOD, OHIO 44122 PPN# 742-29-017 FROM U-9 TO NEWLY PROPOSED CLASSIFICATION U-4C

WHEREAS, My Place Group has requested the rezoning of 3663 Park East Drive, Beachwood, Ohio 44122 PPN# 742-29-017 from U-9 to newly proposed classification U-4C; and

WHEREAS, it is Council's desire to refer said requested Rezoning to its Planning and Zoning Commission for study and a report and recommendation in accordance with BCO 1107.01.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Beachwood, County of Cuyahoga, and State of Ohio, that:

Section 1: The Council of the City of Beachwood, having received a request from My Place Group for the rezoning of 3663 Park East Drive, Beachwood, Ohio 44122 PPN# 742-29-017 from U-9 to newly proposed classification U-4C, will place this issue and said Rezoning on first reading, and refer the proposed to the Planning and Zoning Commission for its report and recommendation.

Upon Council's receipt of the recommendation of the Planning and Zoning Commission the issue of rezoning 3663 Park East Drive, Beachwood, Ohio 44122 PPN# 742-29-017 from U-9 to newly proposed classification U-4C shall be set for Public Hearing.

The Public Hearing shall be held on the ____ day of _____, 2022 at the Beachwood City Hall, Council Chambers, 25325 Fairmount Boulevard, Beachwood, Ohio.

This Ordinance shall be read by Council on three separate occasions and its passage shall cause the Proposed Rezoning to become effective upon operation of the law.

Section 2: The Clerk of Council is directed to advertise said hearing in a newspaper of general circulation in the City for a period of not less than thirty (30) days prior to the Public Hearing, setting forth the substance of the amendments which are proposed.

Section 3: It is found and determined that all formal actions and deliberations of Council and its committees relating to the passage of this legislation that resulted in formal action were in meetings open to the public where required by Chapter 105 of the Codified Ordinances of the City.

WHEREFORE, this Ordinance shall be in full force and effect from and after the earliest date permitted by law.

Attest: I hereby certify this legislation was duly adopted on the ____ day of _____, 2022 and presented to the Mayor for approval or rejection in accordance with Article III, Section 8 of the Charter on the ____ day of _____, 2022.

Clerk

Approval: I have approved this legislation this ____ day of _____, 2022 and filed it with the Clerk.

Mayor



February 28, 2022

Clerk of City Council
City of Beachwood
25325 Fairmount Blvd
Beachwood, Ohio 44122

RE: Submission for Request for Rezoning / Request for Site Plan Approval / Submission of Revised Zoning for Map and Text Amendment

Dear Clerk of City Council:

On behalf of 3663 Park East My Place, LLC, we are submitting an exciting transformational redevelopment plan for the former Double-Tree hotel located at 3663 Park East, Beachwood, Ohio. We envision a mixed-use development that will enable an adaptive re-use of the existing structure. Our development will provide a mixed-use, multi-family development consistent with adjacent new multi-family projects, including the Astor and 3800 Park East. Enclosed with this letter are a) copies of the proposed redevelopment plan, and b) suggested modifications to the zoning code and new zoning code sections to enable the plan to move forward.

As detailed below, we request City Council refer our rezoning (map and text) and development plan approval to the Planning Commission to begin the review and approval process. We remain available to discuss our proposal with City officials at any time.

The 2015 Master Plan acknowledges the need for development (and redevelopment) of the Chagrin Highlands area. The area is now home to large employers including Eaton, Cleveland Clinic, and the expanding Ahuja hospital, among others. Consistent with that, we desire to redevelop 3663 Park East into a facility that will 1) provide high-end rental housing (demand being proven with the Astor, Van Akin, 3800 Park and similar projects), and 2) restaurants, high end retail, and compatible commercial on Park East (which is lacking any real retail space), 3) office space, and 4) exquisite outdoor spaces. The 2015 Master Plan includes vision statements such as:

- Promote mixed-use redevelopment of the Chagrin Blvd corridor and other outdated commercial areas to encourage re-use and growth where industry and jobs currently exist.
- Redevelop the Richmond Road corridor to support new, higher-density residential neighborhoods.
- Incentivize housing that accommodates future needs and grows the City's population.
- Avoid putting small apartments near single-family neighborhoods.
- Mixed use should be limited to corridors that are distinct from existing single-family neighborhoods.
- Remove zoning barriers to adaptive reuse of older buildings.

Our proposed plan satisfies all these criteria. We propose taking a hotel, which considering the new hotels near Pinecrest and convention facilities downtown, is no longer a viable long term use, and redeveloping it into a beating heart for the Park East area. We will provide food, housing,



services, and amenities to the Park East/Chagrin/Richmond corridor. We believe our plan will help stabilize the adjacent properties, become a catalyst for adjacent investment, and ensure the Park East corridor's strong future.

The 2015 Master Plan acknowledged the need for new mixed use zoning districts, and our draft zoning for this new U-4C district is attached. We are requesting the City to a) approve and create a new U-4C district per the attached, b) rezone the subject property to the new U-4C classification, and c) approve the proposed site plan. The draft U-4C zoning code is designed specifically for the area currently zoned U-9, between Harvard and Chagrin, and away from single family residential.

Pursuant to Zoning Code § 1107.03(b), the following is the complete statement in support of rezoning the Property located at 3663 Park East Drive, Beachwood, Ohio 44122 ("Property") from a U-9 (Motor Service District) to a U-4C (Integrated Multi-Family Residential Business District) and approval of the site plan for the development of the Property ("Project"). If you believe additional information is required, please let us know.

The Property is located to the West of Interstate 271 just South of the Chagrin Boulevard exit. A Hertz Car Rental is on site and Civista Bank flanks the Property. The legal description is attached as Exhibit A.

The present use of the Property is as a hotel, conference center, catering/restaurant, and rental-car facility. The proposed use of the Property is a mixed-use development including local retail shops and commercial services, restaurants, offices, and multi-family as described in the new U-4C zoning classification. A proposed development plan/site plan is attached to this letter.

The vision for the Project is to create a vibrant mixed-use destination that will be home to active retail, residential, office, and public amenity uses. The current hotel will be transformed into approximately 181 luxury apartment units. The hotel drop-off, conference center, and restaurant will be demolished to make way for a new mixed-use building that will include approximately 27,606 gsf of office space and 151 new apartment units above approximately 35,935 gsf of ground floor destination retail space. The perimeter of the building will be designed to maintain fire access around the entire site, with carefully curated plaza and landscaped environments at the base of the building where the public will engage with the building. Multiple locations at the ground floor will provide breezeway access into the courtyard, creating a permeable exterior ring of retail and residential uses.

Nestled in the center of the development will sit a courtyard plaza that will provide retail tenants extended exterior space, public green spaces, retail kiosks, and amenities serving as the heart of the development. On the south side of the renovated luxury apartments will be a private amenity pool deck that will include a lap pool, relaxation pool and spa, fire pits, outdoor cooking areas, and cabanas creating an oasis for the residents of the entire development.

The surface parking that is planned to remain but will be augmented by a valet parking building at the southeast corner of the site. Vehicle lifts will be utilized within the building to



provide up to (4) car spaces for every (1) surface space, thereby providing the development with sufficient parking. We have engaged a parking consultant to help us confirm adequate parking, especially considering that much of the parking will be “shared” (i.e. residential at night and office/retail during the day).

The nature of the surrounding area has changed and is already saturated with high-end hotels located in proximity. The need for larger conference space in the area has also dwindled with the relocation of many major conferences to the downtown hotels and conference center. Continuing to operate a 404-room hotel and conference center in this area is not viable. Instead, the proposed development is a cutting edge, innovative way to incorporate mixed-use elements on an underutilized property in an area that has clear and presented demand for such uses.

General statement (in addition to the plans) of the type of building to be constructed, including height and square footage: The proposed development will consist of several buildings, 5 stories in total (which is consistent with the current building height). A box score with uses, square footage, unit counts, and parking counts is on the plans. The current hotel will be transformed into approximately 181 luxury apartment units. A new mixed-use building that will include approximately 27,606 gsf of office space and 151 new apartment units above approximately 35,935 gsf of ground floor destination retail space. The new mixed-use building will be constructed with a concrete first floor and four stories of wood construction. The new office building will be steel framed.

Estimated cost of the proposed improvements. Our preliminary estimate is that the cost of this redevelopment will be approximately \$125,000,000.00. We are looking to create a mutually beneficial public-private partnership with the City to establish a property tax abatement and/or TIF to make this a viable project. We expect the completed project will add between 50-150 new full-time jobs.

Info about Applicant: My Place Group is leading the project on behalf of 3663 Park East My Place, LLC. My Place has over 15 years’ experience and has successfully developed and re-developed projects all over greater Cleveland including apartments, residential and commercial spaces. My Places’ principal, Chad Kertesz comes from a family of proven and successful developers with generations of experience and commitment in this neighborhood. My Place engaged VOCON to serve as lead project architect as well as Sasaki to consult on the overall project and landscape design.

The attached plans and proposed new zoning code sections detail the proposed dimensions, and related setbacks. If there are questions please let us know.

The Property is surrounded by U-9 uses, which is limited to hotels, restaurants, office buildings, professional medical offices, and childcare centers, all of which are compatible with the proposed uses of the U-4C designation. The area also includes a U-4A site and a U-3C designation, and a U-7A site for 3800 Park East. The Property’s proposed uses will, of course, be compatible with adjacent districts and areas and will not adversely impact any single family residential housing areas.



My Place Group
3500 Lorain Avenue
Cleveland, OH 44113
www.myplacecleveland.com

The Planning Commission should recommend this Project for rezoning because it accomplishes the City's planning goals and achieves the most effective and appropriate land use for the area. The City's Master Plan's vision is to promote mixed-use redevelopment of the Chagrin Boulevard corridor and other outdated commercial areas to encourage and reuse and growth, to promote and support walkable neighborhoods, and to remove barriers to adaptive reuse of older buildings. This Project aligns with the City's vision and should be approved.

We look forward to working with this City on this project.

Sincerely,

Chad Kertesz

3663 Park East My Place, LLC

EXHIBIT A

LEGAL DESCRIPTION

Situated in the City of Beachwood, County of Cuyahoga, and State of Ohio:

And known as being a part of Original Lot 60 of said Warrensville Township, and being further bounded and described as follows:

Beginning at the point of intersection of the centerline of Richmond Road, and the centerline of Chagrin Boulevard;

Thence South 89 deg. 51' 20" East, along the centerline of said Chagrin Boulevard, a distance of 917.00 feet to a point, said point being the intersection of said Chagrin Boulevard, and the centerline of Park East Drive, as dedicated in Volume 219, page 35, of the Cuyahoga County Records;

Thence South 00 deg. 08' 40" West, along the centerline of Park East Drive, a distance of 473.00 feet to a point of curvature;

Thence along the arc of said curve deflecting to the left, 282.65 feet, said curve having a radius of 550.00 feet, and a chord which bears South 14 deg. 34' 40" East, 279.55 feet to a point of reverse curvature;

Thence along the arc of said curve deflecting to the right, 205.56 feet, said curve having a radius of 400.00 feet, and a chord which bears South 14 deg. 34' 40" East, 203.31 feet to its point of tangency;

Thence South 00 deg. 08' 40" West, along said centerline of Park East Drive, a distance of 193.75 feet to a point;

Thence South 89 deg. 51' 20" East, a distance of 30.00 feet to an iron pin found on the Easterly right-of-way of said Park East Drive, said point being the true place of beginning of the parcel herein described;

Thence North 87 deg. 46' 00" East, along the Southerly line of land conveyed to Parkway Medical Building Associates Partnership, as recorded in deed Volume 84-0130, page 49, of the Cuyahoga County Records, a distance of 613.88 feet to an iron pin set in the Westerly right-of-way of Interstate 271;

Thence South 03 deg. 33' 59" West, along said Westerly right of way of Interstate 271, a distance of 13.19 feet to an iron pin found;

Thence South 02 deg. 30' 14" East, along said Westerly right-of-way of Interstate 271, a distance of 459.78 feet to an iron pin set;

Thence along an arc of a curve, and continuing along said Westerly right-of-way of Interstate 271, a distance of 278.94 feet to an iron pin found at the Northeast corner of land conveyed to Park East Realty Company, as recorded in deed Volume 88-3594, page 1, of the Cuyahoga County Records, said curve having a radius of 12477.67 feet, a chord which bears South 00 deg. 17' 15" West, at 278.95 feet;

Thence North 82 deg. 00' 59" West, along the Northerly line of said Park East Realty Company land, a distance of 636.59 feet to an iron pin found on the Easterly line of aforesaid Park East Drive;

Thence North 00 deg. 08' 40" East, along the East right-of-way of said Park East Drive, a distance of 639.07 feet to the place of beginning, containing 9.9930 acres, be the same more or less, but subject to all legal highways.

Parcel No. 742-29-017

Property Address: 3663 Park East Drive, Beachwood, Ohio 44122



ZONING SUBMISSION

MAR 1 2022

**MY PLACE GROUP
3663 PARK EAST**

01

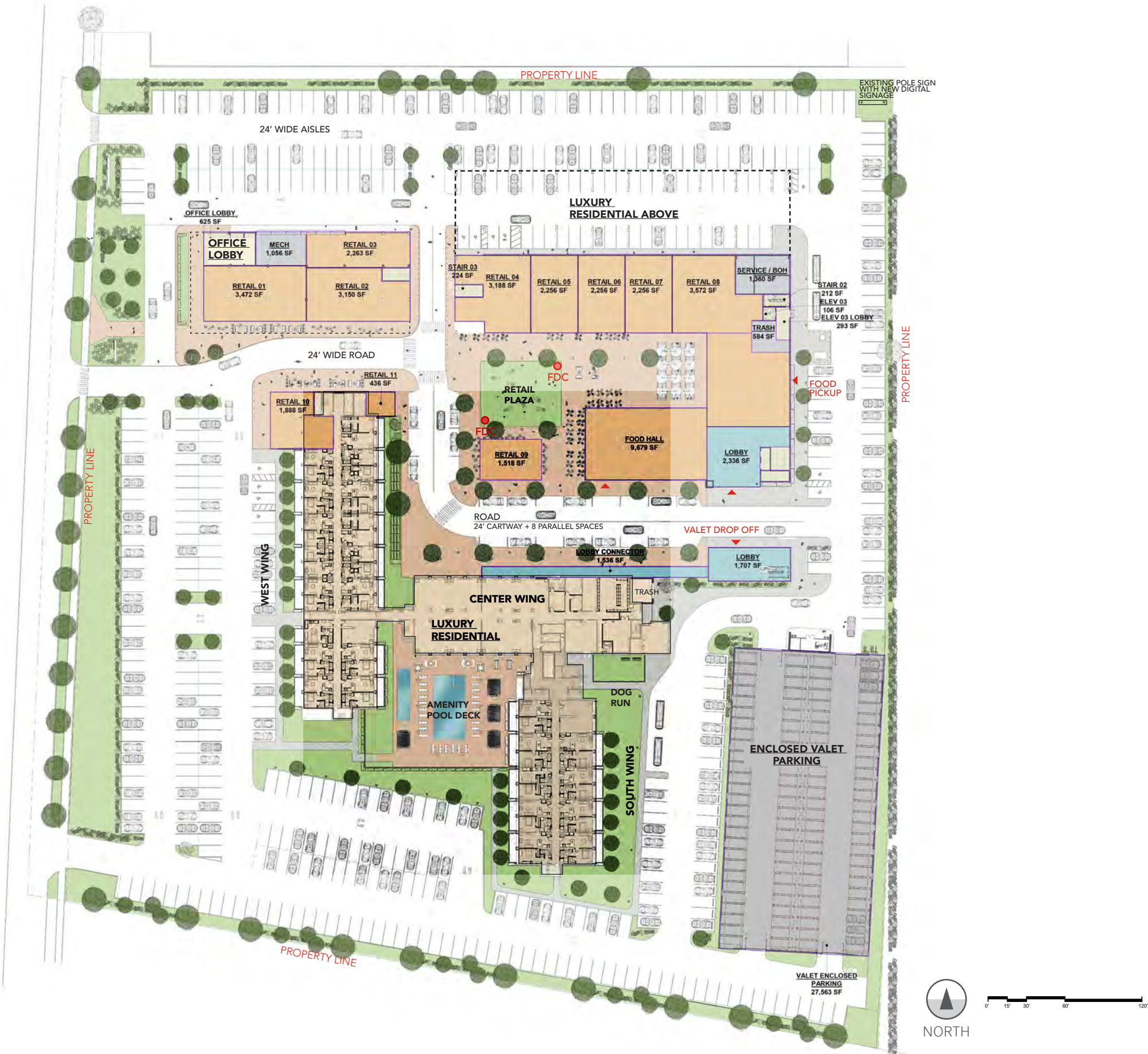
MIXED-USE PLANS

AREA SUMMARY			
GROSS AREA			
NEW CONSTRUCTION RESIDENTIAL BUILDING	184,317 GSF		
EXISTING RESIDENTIAL	198,534 GSF		
OFFICE BUILDING	39,020 GSF		
VALET PARKING GARAGE	27,563 GSF		
LEASABLE AREA			
RETAIL	35,935 RSF		
NEW CONSTRUCTION RESIDENTIAL	126,766 RSF		
EXISTING RESIDENTIAL	146,319 RSF		
OFFICE	27,606 RSF		
PARKING			
SURFACE PARKING	545		
VALET PARKING GARAGE	432		
TOTAL PARKING SPACES	977		
BUILDING HEIGHTS			
OFFICE BUILDING	49' TO TOP OF PARAPET		
NEW CONSTRUCTION RESIDENTIAL/RETAIL	64' TO TOP OF PARAPET		
EXISTING RESIDENTIAL (UNCHANGED)	7-STORY=68'		
	4-STORY=40'		
VALET PARKING GARAGE	32' TO TOP OF PARAPET		
RESIDENTIAL UNITS			
NEW CONSTRUCTION RESIDENTIAL	151		
EXISTING RESIDENTIAL	181		
TOTAL RESIDENTIAL UNITS	332		
SITE COVERAGES			
TOTAL SITE AREA	439,800 SF		
NEW CONSTRUCTION RESIDENTIAL BUILDING	51,647 SF		
EXISTING RESIDENTIAL	37,194 SF		
RETAIL PAVILION	1,500 SF		
RETAIL ADDITION TO EXIT. BLDG.	2,312 SF		
OFFICE BUILDING	13,803 SF		
VALET PARKING GARAGE	27,563 SF		
TOTAL BUILDING FOOTPRINT	134,019 SF		
LOT COVERAGE		0.305	
LANDSCAPE COVERAGE	70,518	0.160	
PARKING AREA	155901		
PARKING AREA LANDSCAPE	4136	0.027	

PARKING SUMMARY				
NEW CONSTRUCTION RESIDENTIAL BUILDING (1 PER BEDROOM)				
1 BEDROOM	NO. OF UNITS	REQUIRED	PROVIDED	
2 BEDROOM	104	104		
3 BEDROOM	43	86		
	4	12		
		202		
RENOVATED RESIDENTIAL BUILDING (1 PER BEDROOM)				
STUDIO	17	17		
1 BEDROOM	105	105		
2 BEDROOM	52	104		
3 BEDROOM	7	21		
		247		
TOTAL RESIDENTIAL SPACES REQUIRED		449		
OFFICE (4:1000)	27,606	110		
RETAIL (5:1000)	25,935	130		
RESTAURANT (400 SEATS)	10,000	200		
TOTAL		889	977	



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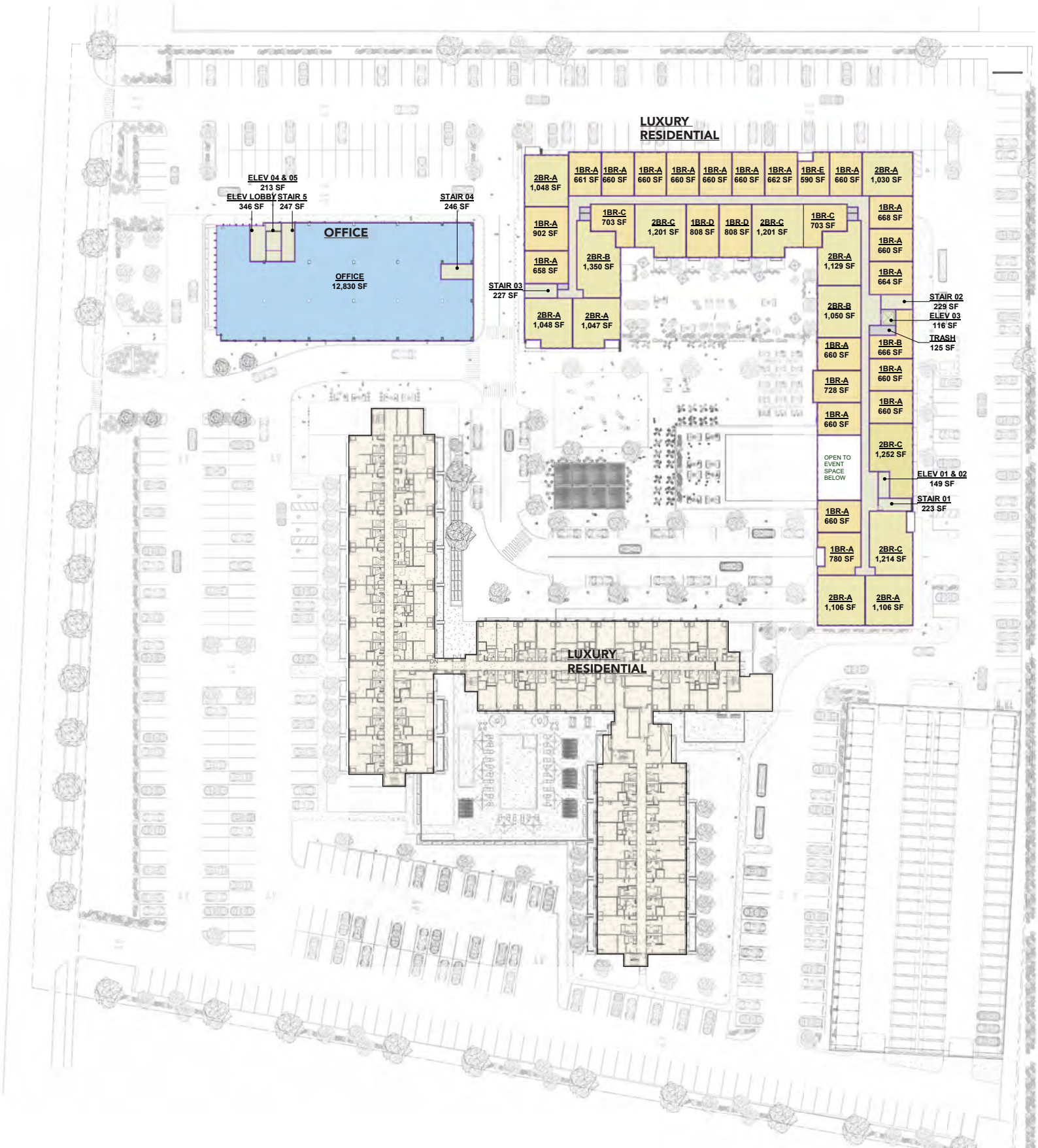


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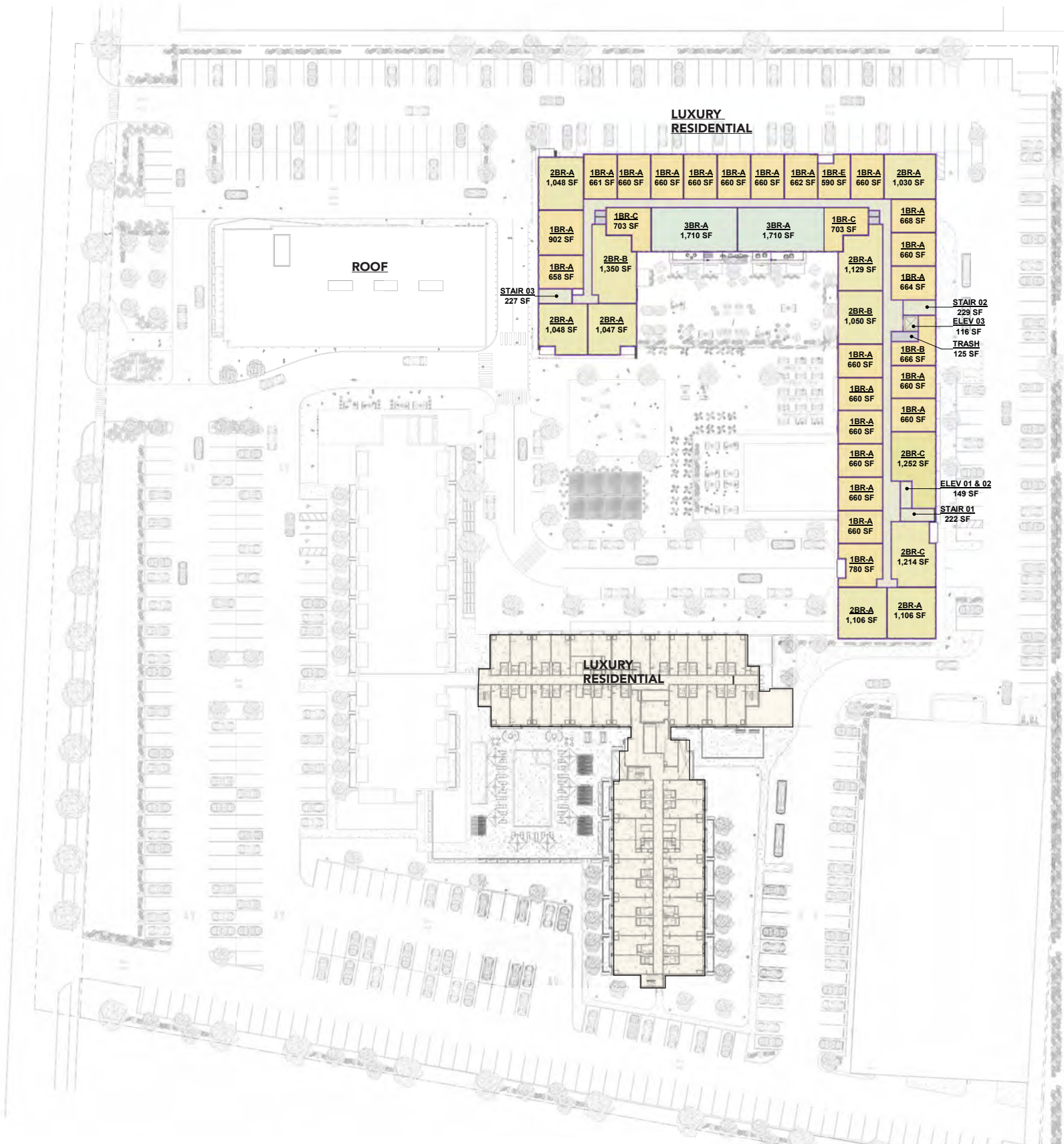


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02

EXTERIOR DESIGN





















**LET YOUR
SPACES SPEAK.**

Tactical Planning, LLC

Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: March 21, 2022

RE: **P&Z 2022-07 My Place Group
Rezoning and Site Development Plan
3663 Park East Drive**



This request is for approval to rezone approximately 10 acres of land located on the east side of Park East Drive, and also referred to as Permanent Parcel No. 742-29-017, from U-9 Motor Service District to a proposed new zoning classification to be known as U-4C Integrated Multi-Use Residential Business District (P&Z 2022-06). This is the site of the former DoubleTree hotel. The former use included the hotel, a restaurant, a car rental agency, and some conference facilities. The subject site has about 639 feet of frontage on Park East Drive and abuts the right-of-way of I-271 to the east. The abutting properties to the north and south of the subject site are both zoned U-9 Motor Service District. In fact, all of the properties between the eastern right-of-way line of Park East Drive and the westerly right-of-way line of Interstate 271 are currently zoned U-9 Motor Service District.

The applicant's proposed site development plan includes conversion of the former hotel building into 181 apartment units. The former conference and restaurant portion of the existing building would be demolished and replaced with a new building. In addition to the conversion of the hotel rooms to apartment, the applicant proposes to construct 151 new apartment units. That would bring the total number of dwelling units on the site to 332 or approximately 33 dwelling units per acre. Along with the proposed new residences, the applicant proposes to construct 35,935 square feet of retail and service space and 27,606 square feet of office space. The new buildings would have retail, service, restaurant, and office uses on the first floor and multi-family residential above. The plan proposes a maximum building height of five (5) stories for the new buildings. The existing hotel building is seven (7) stories.

The proposed site development plan includes outdoor gathering spaces in the form of plazas, pavilions, and decks. The site plan provides for three (3) entry drives

from Park East Drive. Access is provided around the exterior of the site with the exception of the east side of the proposed parking building. The site development plan indicates 545 surface parking spaces and includes a garage building designed with lifts. The garage building as proposed would hold 432 vehicles making the total proposed parking count 977 spaces.

The applicant notes that the City's Master Plan recommends inclusion of mixed-use developments. The first issue before the Commission is whether conceptually this location, which has historically been used for highway related and office uses, is an appropriate location for mixed-use development and how such a conversion in zoning would fit into the desired long range development patterns of the City.

If the Commission concludes that mixed-use development makes sense on the subject site, the review focus changes to the nature of the mix. The applicant is proposing a total of 336,626 square feet of leasable space. Of that total 10.7% would be retail, 8.2% would be office space, and 81% of the leasable space would be multi-family residential. The retail, restaurant, service, and office uses (i.e. non-residential) are concentrated on the northern half of the site. Residential uses extend over the entire site; however, the southern half of the site is almost exclusively occupied by residences and amenities.

As noted above, almost half of the proposed parking spaces are provided by means of the parking garage. That presents several issues. First, the garage is located in the southeast corner of the subject site making it somewhat inconvenient in my opinion. Second, I have reservations about the functionality and long-term viability of a parking scheme that is both heavily labor intensive and relies on mechanical lift devices, particularly when it is providing over 40% of the proposed on-site parking.

There are other items and details to be discussed as part of the review process, including such things as the unit mix, minimum dwelling sizes, parking standards, etc. Once the applicant has had an opportunity to fully present their plan and use proposal, the Planning and Zoning Commission will need to focus its review beginning with the larger conceptual issues first and then refining down to deal with specific details in both the site development plan and the proposed text amendment. I anticipate providing more detailed comments and recommendations based upon those review discussions.



GPD GROUP®
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544

fax 216.518.5545

www.gpdgroup.com

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: March 31, 2022

Report Date: March 15, 2022

2021120.12

To: Mr. William B. Griswold
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 8

P & Z 2022-07 **Chad Kertesz, My Place Group, is requesting approval to re-zone PPN 742-29-017, 3663 Park East Drive, from U-9 Motor Service District to District U-4C, entitled "Integrated Multi-Use Residential Business District"**

There are no Engineering Comments on this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Shaun Lutz, Assistant Chief
Date: 03/14/2022
Re: P&Z # 22-07 – 3663 Park East – My Place

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department been working closely with ownership and architects. The design meets the Fire Department needs and at this time. During the meeting with the owner it was discussed and noted that all buildings shall be fully suppressed and Fire Pumps will be needed.
2. Radio communications is crucial in public safety. In all existing buildings a public safety radio signal study will need to be completed per Ohio Fire Code section 510. All new structures must have approved radio coverage for emergency responders.

Shaun Lutz

Shaun Lutz
Assistant Fire Chief